



**CITY OF SAN FERNANDO  
COUNCIL CHAMBERS  
AUGUST 20, 2013**

**PLANNING AND PRESERVATION COMMISSION AGENDA  
SPECIAL MEETING**

**1. CALL TO ORDER**

7:00 P.M.

**2. PLEDGE OF ALLEGIANCE**

**3. ROLL CALL**

Chairperson Theale Haupt, Vice-chair Alvin Durham, Commissioners, Kevin Beaulieu, Yvonne G. Mejia, and Rodolfo Salinas, Jr.

**4. APPROVAL OF AGENDA**

August 20, 2013

**5. PUBLIC STATEMENTS**

There will be a three (3) minute limitation per each member of the audience who wishes to make comments in order to provide a full opportunity to every person who wishes to address the Commission on community planning matters not pertaining to items on this agenda.

**6. CONSENT CALENDAR**

Items on the consent calendar are considered routine and may be acted on by a single motion to adopt the staff recommendation or report. If the Commission wishes to discuss any item, it should first be removed from the consent calendar.

**7. NEW BUSINESS**

**A: Subject: Variance 2013-04 and Conditional Use Permit 2013-07 (CUP 2013-07) (RE: Site Plan Review 2013-07)**

**Location: 460 San Fernando Mission Boulevard and 1136 Hollister Street, San Fernando, CA 91340**

**Applicant: William Argueta, WSS, 13425 South Figueroa Street, Los Angeles, CA 90061**

**Proposal: The proposed project is a request for review and approval of a variance and conditional use permit (CUP) applications to allow for the construction of a 3,842-square-foot additional to an existing 6,171-square-foot commercial building with reduced front and side setbacks, an off-site parking facility, and additional signage requested as part of a sign program. The project site at 460 San Fernando Mission Boulevard is an approximate 17,500 square-foot lot located on the easterly corner of San Fernando Mission Boulevard and Hollister Street, within the C-1 (Limited Commercial) zone. The site of the planned off-site parking facility at 1136 Hollister Street is an**

**approximate 10,000 square-foot lot located on the southwesterly portion of the 1100 block of Hollister Street, between San Fernando Mission Boulevard and South Maclay Avenue, within the R-2 (Multiple Family Residential) zone.**

**Recommendation:** Staff recommends that the Planning and Preservation Commission approve Conditional Use Permit 2013-07 and Variance 2013-04, pursuant to Planning and Preservation Commission Resolution 2013-07 and the Conditions of Approval attached as Exhibit “A” to the resolution (Attachment 1).

If, in the future, you wish to challenge the items listed above in Court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice or in written correspondence delivered to the City Planning Commission at, or prior to, the public hearing. Decisions of Planning and Preservation Commission may be appealed to the City Council within 10 days following the final action.

8. **STAFF COMMUNICATIONS**

9. **COMMISSION COMMENTS**

10. **ADJOURNMENT**  
Tuesday, September 10, 2013

*Any public writings distributed to the Planning and Preservation Commission regarding any item on this regular meeting agenda will also be made available at the Community Development Department public counter at City Hall located at 117 Macneil Street, San Fernando, CA, 91340 during normal business hours. In addition, the City may also post such documents on the City's Web Site at [www.sfcity.org](http://www.sfcity.org).*

*In accordance with the Americans with Disabilities Act of 1990, if you require a disability-related modification or accommodation to attend or participate in this meeting, including auxiliary aids or services please call the Community Development Department office at (818) 898-1227 at least 48 hours prior to the meeting.*

**MEETING DATE:** August 20, 2013

**PUBLIC HEARING:**

1. CHAIRPERSON TO OPEN THE ITEM AND REQUEST STAFF REPORT
2. STAFF PRESENTS REPORT
3. COMMISSION QUESTIONS ON STAFF REPORT
4. OPEN FOR PUBLIC HEARING
5. CLOSE PUBLIC HEARING
6. PLANNING AND PRESERVATION COMMISSION DISCUSSION
7. RECOMMENDED ACTION:

(a) **To Approve:**

“I move to approve Variance 2013-04 and Conditional Use Permit 2013-07, to allow for the construction of a 3,842-square foot addition to an existing 6,171-square-foot commercial building with reduced front and side setbacks, an off-site parking facility, and additional signage requested as part of a sign program, pursuant to Planning and Preservation Commission Resolution 2013-07 and the Conditions of Approval attached as Exhibit “A”

(b) **To Deny:**

“I move to deny Variance 2013-04 and Conditional Use Permit 2013-07, based on the following findings of fact...” (Roll Call Vote)

(c) **To Continue:**

“I move to continue consideration of Variance 2013-04 and Conditional Use Permit 2013-07 to a specific date...” (Roll Call Vote)

**PUBLIC HEARING:**

To Approve ( )

To Deny ( )

To Continue ( )

Moved by: \_\_\_\_\_

Seconded by: \_\_\_\_\_

Roll Call: \_\_\_\_\_

**Item 7A:**

**Variance 2013-04 and Conditional Use Permit 2013-07**

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Double-Sided Printing






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## PLANNING AND PRESERVATION COMMISSION STAFF REPORT

DATE: August 20, 2013

TO: SAN FERNANDO PLANNING AND PRESERVATION COMMISSION

FROM: Fred Ramirez, Community Development Director  
Prepared by: Edgar Arroyo, Assistant Planner 

SUBJECT: Conditional Use Permit 2013-07 and Variance 2013-04  
(RE: Site Plan Review 2013-07)  
460 San Fernando Mission Boulevard and 1136 Hollister Street, San Fernando,  
CA 91340 (Los Angeles County Assessors' Parcel Nos.: 2521-028-009, 2521-  
028-016, and 2521-029-037)

PROPOSAL: The proposed project is a request for review and approval of variance and conditional use permit (CUP) applications to allow for the construction of a 3,842-square-foot addition to an existing 6,171-square-foot commercial building with reduced front and side setbacks, an off-site parking facility, and additional signage requested as part of a sign program. The project site at 460 San Fernando Mission Boulevard is an approximate 17,500-square-foot lot located on the easterly corner of San Fernando Mission Boulevard and Hollister Street, within the C-1 (Limited Commercial) zone. The site of the proposed off-site parking facility at 1136 Hollister Street is an approximate 10,000-square-foot lot located on the southwesterly portion of the 1100 block of Hollister Street, between San Fernando Mission Boulevard and South Maclay Avenue, within the R-2 (Multiple Family Residential) zone.

APPLICANT: William Argueta, WSS, 13425 South Figueroa Street, Los Angeles, CA 90061

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### RECOMMENDATION:

Staff recommends that the Planning and Preservation Commission approve Conditional Use Permit 2013-07 and Variance 2013-04 pursuant to Planning and Preservation Commission Resolution 2013-07 and the Conditions of Approval attached as Exhibit "A" to the resolution (Attachment 1).

### PROJECT OVERVIEW:

On May 25, 2013, William Argueta, the applicant for the project, submitted a site plan review application to construct an approximate 3,842-square-foot addition to an existing 6,171-commercial building located at 460 San Fernando Mission Boulevard. The proposed building

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addition at the subject property would also include a complete renovation of the existing façade of the building currently occupied by WSS (formerly Warehouse Shoe Sale), a retail footwear and apparel store, with improved landscape areas and parking facilities. Additionally, to accommodate the required parking for the improved building, an off-site parking facility at 1136 Hollister Street would be provided to comply with city parking requirements. The project site at 460 San Fernando Mission Boulevard is an approximate 17,500-square-foot lot (Los Angeles County Assessor Parcel No (APN): 2521-029-037) located on the easterly corner of San Fernando Mission Boulevard and Hollister Street, within the C-1 (Limited Commercial) zone. The site of the proposed off-site parking facility at 1136 Hollister Street is an approximate 10,000-square-foot property comprised of two lots (APNs.: 2521-028-009 and 2521-028-016) located on the southwesterly portion of the 1100 block of Hollister Street, between San Fernando Mission Boulevard and South Maclay Avenue, within the R-2 (Multiple Family Residential) zone.

As proposed, the new addition and associated improvements to the existing building at 460 San Fernando Mission Boulevard would provide depth and articulation to the façade of the building, while providing a prominent and functional front entry and areas for windows and display cases along San Fernando Mission Boulevard, Hollister Street, and the rear of the building facing the parking lot. The proposed improvements would necessitate that portions of the existing building extend into the required front and side yard setback area to provide the desired architectural treatment throughout the building. As such, portions of the building facade would retain a front setback of four feet and four inches along San Fernando Mission Boulevard and a side setback of four feet and two inches along Hollister Street.

Pursuant to City Code Section 106-696, the front setback for properties in the C-1 zone is 10 feet. Additionally, the side setback area for properties whose side setback area abuts the street right-of-way is five feet. However, pursuant to City Code Section 106-697, when a side property line abuts another property instead of the street right-of-way, a building may be developed at the property line with a zero side setback.

In staff's review of the project and the development of the site to date, the existing building was constructed in 1997 with a front setback of five feet and four inches to allow for the placement of the building toward the front of the property. The placement of the existing building toward the front of the property facing San Fernando Mission Boulevard also facilitated the development of a retail storefront with direct frontage to the street and provided an expanded area at the rear of the property to provide the required parking for the project. While the construction of the retail building was allowed at the aforementioned setbacks, the development standards and setback requirements applicable at the time of the project's review and development in 1997 required a 10-foot front setback along San Fernando Mission Boulevard for properties within the C-1 zone, pursuant to City Code Section 30.600.01. Under the city's current development standards, pursuant to City Code Section 106-696, a similar 10-foot front setback is required for C-1 zoned properties. As such, the existing commercial building developed at 460 San Fernando Mission Boulevard is not in compliance with previously or currently applicable front setback requirements for commercially zoned property. Upon staff's assessment of the discrepancy in front building setback, the applicant was advised by city staff that a variance would be required

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to legalize the existing portion of the building that extends into the front setback area, as well as to allow for the proposed additional encroachment of the building into the required front and side setbacks along San Fernando Mission Boulevard and Hollister Street. Discussion regarding the requested variance for building setbacks is provided in Section 4 of the Analysis of this report.

As discussed above, the project includes the use of an off-site parking facility at 1136 Hollister Street to provide a portion of the required parking for the project, with additional surplus parking for employees of the retail store. Pursuant to City Code Section 106-822(c)(7), retail uses within the C-1 zone are required to provide one parking space for every 300 square feet of gross floor area. In total, the improved 10,013-square-foot building would require a total of 33 parking spaces to be provided on-site at 460 San Fernando Mission Boulevard. As proposed, the project would provide a total of 38 parking spaces, with 17 spaces provided at the subject property at 460 San Fernando Mission Boulevard and an additional 21 spaces provided across the street within the proposed off-site parking facility at 1136 Hollister Street. As such, the project would provide a surplus of five spaces. Pursuant to City Code Section 106-827(a), off-site parking facilities used to provide all or a portion of the required parking for a project may be permitted though the Commission's review and consideration of a variance. Additionally, a residentially zoned lot may be used as an off-site parking facility for a commercial use if the proposed parking lot is located adjacent to or across the street from a nonresidential zone, pursuant to City Code Section 106-827(b) and subject to the review of a variance as noted above. Discussion regarding the requested variance for the off-site parking facility is provided in Section 5 of the Analysis of this report.

Finally, along with the improvements to the building façades, the project would also include the installation of new signage along the elevations on San Fernando Mission Boulevard, Hollister Street, and the building elevation facing the parking lot at the rear. The applicant is requesting the approval of a sign program for all signage planned throughout the site. Pursuant to City Code Section 106-933(7)(c), the approval of a sign program requires the review and consideration of a Conditional Use Permit (CUP) by the Commission. The requested CUP would allow for the installation of approximately 229 square feet of signage on the building's front elevation facing San Fernando Mission Boulevard, approximately 150 square feet of signage on the building's side elevation facing Hollister Street, and approximately 235 square feet of signage on the building elevation facing the parking lot at the rear of the subject property. The proposed sign program throughout the site would also include for the removal of the existing deteriorated 156.66-square-foot dual-face pole sign (78.33 square feet per face) located on the corner of San Fernando Mission Boulevard and Hollister Street. Additionally, window graphic signage would also be installed on the building, with 236 square feet of window signage along San Fernando Mission Boulevard and Hollister Street, respectively, and 154 square feet of window signage facing the parking lot at the rear of the subject property.

Pursuant to City Code Section 106-933(1), the total sign area of per building frontage shall not exceed 20-percent of the area of the building elevation. Additionally, the maximum area allowed for signage shall not exceed 150 square feet per frontage. However, pursuant to City Code Section 106-933(7)(c), a sign program for the entire project site that requests additional sign area above the permitted maximum area under the city's sign regulations may be considered by the

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Commission as part of a conditional use permit request. Discussion regarding the requested sign program CUP is provided in Section 6 of the Analysis of this report.

Subsequent to staff's review of the project in its entirety, planning staff worked with the applicant to address concerns regarding building setbacks, the proposed off-site parking facility, building design, and the requested sign program for the project.

On July 25, 2013, the applicant submitted a variance application requesting reduced front and side building setbacks and the approval of an off-site parking facility to provide a portion of the required parking for the project, along with a conditional use permit for the proposed sign program for the Commission review and consideration.

## **BACKGROUND:**

1. **General Plan Land Use and Zoning Designation:** The project site at 460 San Fernando Mission Boulevard (APN: 2521-029-037) is located within the C-1 (Limited Commercial) zone and maintains a Commercial (COM) land use designation in the City's General Plan Land Use Element. The proposed off-site parking facility at 1136 Hollister Street (APNs: 2521-028-009 and 2521-028-016) is located within the R-2 (Multiple Family Residential) zone and maintains a Medium Density Residential (MDR) land use designation (Attachment 3).
2. **Site Location and Description:** The subject property at 460 San Fernando Mission Boulevard is an approximate 17,500-square-foot lot (APN: 2521-029-037), with street frontages along San Fernando Mission Boulevard to the northwest and Hollister Street to the southwest. The project site is improved with an approximate 6,171-square-foot commercial building currently occupied by WSS, a retail footwear and apparel store. The subject property is in the vicinity of similar commercial uses with the C-1 zone located to the north and west and residentially zoned properties within the R-2 zone to the south and east.

The site of the proposed off-site parking facility at 1136 Hollister Street is an approximate 10,000-square-foot site comprised of two lots (APNs: 2521-028-009 and 016), with street frontages along Hollister Street to the northeast and Hewitt Street to the southwest. The proposed parking facility abuts similarly zoned residential uses within the R-2 zone to the east and south and commercially zoned property within the C-1 zone to the north and west.

3. **Environmental Review:** This project has been reviewed for compliance with the California Environmental Quality Act (CEQA). It is staff's assessment that this project proposal qualifies for a Categorical Exemption under Class 32 (In-Fill Development Project) of San Fernando's CEQA Guidelines. If the Planning and Preservation Commission concurs with staff's determination, no further environmental assessment is necessary.
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4. **Legal Notification:** On August 8, 2013, the public hearing notice was posted at two City Hall bulletins, at the County Public Library bulletin, and at the project site. A notice was also published in the August 10, 2013, print and online legal advertisement section of the *Los Angeles Daily News*. In addition, notices of this hearing were mailed to all property owners of record within 500 feet of the subject site (Attachment 5).

**ANALYSIS:**

- 1) **General Plan Consistency.** The requested variances to allow for reduced front and side building setbacks and for the use of an off-site parking facility to provide the required parking for the project, along with the conditional use permit to allow for increased signage as part of a sign program, is consistent with the following goals and objectives of the San Fernando General Plan Land Use Element by:

- ✓ Promoting economic viability of commercial areas;
  - ✓ Attracting new commercial activities.
- (San Fernando General Plan Land Use Element Goals and Objectives I-V, Pg. IV-6)*

The requested variances would allow for the improvement of the existing deteriorated commercial building façade and allow for the project to comply with the required parking for the retail store by providing a portion of the required parking, along with additional surplus parking, within an off-site parking facility located directly across the street from the project site. Furthermore, the requested conditional use permit to allow for increased signage as part of a sign program would allow for WSS, the tenant of the commercial building, to implement the company's current corporate branding standards while breaking up the proposed signage evenly throughout each elevation of the building. The even distribution of signage throughout the site helps complement the proposed modern design of the façade of the improved building while phasing out the use of an existing pole sign through its removal. The requested entitlements facilitate the planned building and site improvements, while promoting the economic viability of commercial areas and attracting new commercial activities. In addition, investment in this commercial property has the potential effect of encouraging additional investment to neighboring commercial properties along the San Fernando Mission Boulevard corridor.

- 2) **Zoning Consistency.** Pursuant to City Code Section 106-486, the purpose of the C-1 (Limited Commercial) zone is to establish areas for limited commercial uses that offer opportunities for retail and service uses. The existing retail store at 460 San Fernando Mission Boulevard is a use that is permitted within the C-1 zone pursuant to City Code Section 106-487(5). The proposed building and site improvement would allow for continued use of the site for retail uses, consistent with the purpose of the C-1 zone. Additionally, the requested variance for the use of an off-site parking facility would allow for the project to comply with the required parking for the project, along with providing surplus parking spaces, in compliance with City Code Section 106-822(c)(7).
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Furthermore, the purpose and intent of the city's sign regulations, pursuant to City Code Section 106-926(a), is to:

- ✓ Emphasize the importance of business activity to the economic vitality of the city;
- ✓ Help improve the ability of business owners and operators to identify their businesses to the community in order to enhance the furtherance of commerce;
- ✓ Foster varied and interesting places of trade; and,
- ✓ Promote public safety by making business signing visible to the passing public.

The requested approval of a sign program as part of a CUP would allow for the existing business to implement the company's corporate rebranding of this location in a manner that distributes the proposed signage evenly throughout each building façade. The even distribution of signage throughout the site would be architecturally compatible with the overall scale and design of the building, while allowing for the phasing out and removal of an existing pole sign on the easterly corner of San Fernando Mission Boulevard and Hollister Street.

**3) General Development Standards.** The proposed project would comply with the following site development standards for commercially zoned property, with discussion on specific development standards provided below.

- a) Use. Pursuant to City Code Section 106-487(5), retail uses are permitted uses within the city's C-1 (Limited Commercial) zone. The continued use of the subject property at 460 San Fernando Mission Boulevard as a retail store would continue to be compliance with those uses permitted in the C-1 zone.
- b) Landscaping. Pursuant to City Code Section 106-968(3), a minimum of 10-percent of a commercially zoned lot shall be landscaped, with all areas not used for parking or building area also landscaped with permanent watering and maintenance. As required by the city's landscaping requirements, the subject property at 460 San Fernando Mission Boulevard with a lot size of 17,500 square feet is required to provide 1,750 square feet of landscaping. As proposed, the improvements to the site would provide a total of 1,777 square feet of landscaping, in compliance with city landscaping requirements.

Furthermore, the proposed off-site parking facility at 1136 Hollister Street with a lot size of 10,000 square feet would be required to provide 1,000 square feet of landscaping. As proposed, a total of 1,375 square feet of landscaping would be installed throughout the site, in compliance with city landscaping requirements for this facility.

- c) Height. Pursuant to City Code Section 106-968(4), the maximum building height permitted on commercially zoned property is 45 feet. As proposed, the improved commercial retail building at 460 San Fernando Mission Boulevard would provide a maximum height of 45 feet from the peak of the new corner tower feature on San
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Fernando Mission Boulevard and Hollister Street, in compliance with the applicable building height for commercial property.

- d) **Lot Coverage.** Pursuant to City Code Section 106-968(6), the maximum lot coverage permitted on commercially zoned property is 60-percent. As proposed, the improved 10,013-square-foot commercial building at 460 San Fernando Mission Boulevard would occupy 57.2-percent of the 17,500-square-foot lot. As such, the project would be in compliance with the applicable lot coverage for commercially zoned property.
- 4) **Setbacks.** The new building addition and associated improvements at 460 San Fernando Mission Boulevard would be developed with a reduced front setback area along San Fernando Mission Boulevard and a reduced side setback area along Hollister Street. Pursuant to City Code Section 106-696, the front setback for properties in the C-1 zone is 10 feet. Additionally, the side setback for properties whose side setback area abuts the street right-of-way is five feet. However, pursuant to City Code Section 106-697, when a side property line abuts another property instead of the street right-of-way, a building may be developed at the property line with a zero side setback.

Along San Fernando Mission Boulevard, the improved building would maintain a front setback of four feet and four inches, in lieu of the required 10 feet. Similarly, along Hollister Street, the improved building would maintain a side setback of four feet and two inches, in lieu of the required five feet. The project would be in compliance with side setback requirements abutting the neighboring property at 456 San Fernando Mission Boulevard, with the proposed building addition to be built at the property line, with a zero side setback.

The proposed building improvements, with reduced front and side setback areas, would provide much needed depth and articulation to the façade of the building while providing a prominent and functional front entry and areas for windows and display cases along San Fernando Mission Boulevard, Hollister Street, and the rear of the building facing the on-site parking lot. The proposed improvements would necessitate that portions of the existing building area extend into the required front and side setback areas to provide the desired architectural treatment throughout the existing and planned addition to the building. Furthermore, the applicant's submittal and request for approval of a variance to allow for the aforementioned reduced setback areas would also allow for five-foot portion of the existing building that is noncompliant with current setback requirement to be legalized as part this review.

It is staff's assessment that the proposed modern architectural treatment throughout the existing and proposed portions of the building would significantly upgrade the deteriorated and dated appearance of the current façade. Furthermore, the reduced front and side setback areas along San Fernando Mission Boulevard and Hollister Street would allow for the corner of those streets to become activated with the construction of a new functional entry on the corner of these streets that would be directly accessible to pedestrians from the

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public sidewalk. Additional discussion regarding the variance process and required findings for approval is provided in Section 7 of the Analysis of this report.

- 5) **Parking.** Pursuant to City Code Section 106-822(c)(7), retail uses within the C-1 zone are required to provide one parking space for every 300 square feet of gross floor area. In total, the improved 10,013-square-foot building would require a total of 33 parking spaces to be provided. Additionally, pursuant to City Code Section 106-827(a), the required parking for a use is required to be provided on the same lot that the use is located on. However, city code does allow a request by an applicant be made to allow for all or a portion of the parking to be provided within an off-site parking facility through the Commission's review and consideration of a variance. Furthermore, a residentially zoned property may be utilized as an off-site parking lot for a commercial use, provided that off-site parking facility is located immediately adjacent to or across an alley, street, or easement from a nonresidential zoning district. As such, the subject property at 1136 Hollister Street that is located within the R-2 zone and across the street from the commercially zoned subject property is consistent with the applicable criteria for the Commission to review and consider approval of the requested off-site parking facility.

As proposed, the project would provide a total of 38 parking spaces through the combination of on-site and off-site parking. At the subject property at 460 San Fernando Mission Boulevard, 17 parking spaces would be provided, consisting of 10 standard, five (5) compact, and two (2) handicap accessible spaces. The off-site parking facility at 1136 Hollister Street would provide 21 parking spaces, with 15 standard and six (6) compact spaces. Consistent with City Code Section 106-822(c)(7), the project would provide the required parking for the project, with a surplus of five additional spaces to further serve customer and employee needs. Additional discussion regarding the variance process and required findings for approval is provided in Section 7 of the Analysis of this report.

- 6) **Signage.** In addition to the proposed building and site improvements, the project also includes the installation of new signage along the elevations of San Fernando Mission Boulevard, Hollister Street, and the building elevation facing the parking lot at the rear. The planned signage along each visible elevation would be developed in line with WSS' new corporate branding standards for its retail outlets.

Pursuant to City Code Section 106-933(1), the total sign area per building frontage shall not exceed 20-percent of the area of the building elevation and is limited to no more than 150 square feet of signage when calculations result in greater area than this figure. Additionally, the maximum amount of window graphic signage allowed pursuant to City Code Section 106-933(9)(b) is 40-percent of the total window area per frontage. The calculation for total window signage is independent of the calculation of total sign area, which only includes the calculation of building mounted signs. The following comparison data table shows the total building area, maximum signage permitted, and the proposed signage per elevation:

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**Building Mounted Signage**

<u>Elevation</u>	<u>Building Area</u>	<u>Sign Area (@ 20%)</u>	<u>Maximum Allowed</u>	<u>Proposed</u>
San Fernando Mission Blvd	3,453 Sq.Ft.	690.7 Sq.Ft.	150 Sq.Ft.	228.12 Sq.Ft.
Hollister Street	2,769.16 Sq.Ft.	553.83 Sq.Ft.	150 Sq.Ft.	149.04 Sq.Ft.
Rear Elevation (Parking Lot)	2,974.8 Sq.Ft.	594.96 Sq.Ft.	150 Sq.Ft.	234.62 Sq.Ft.

**Window Graphic Signage**

<u>Elevation</u>	<u>Window Area</u>	<u>Sign Area (@ 40%)</u>	<u>Maximum Allowed</u>	<u>Proposed</u>
San Fernando Mission Blvd	616 Sq.Ft.	246.4 Sq.Ft.	246.4 Sq.Ft.	236 Sq.Ft.
Hollister Street	608 Sq.Ft.	243.2 Sq.Ft.	243.2 Sq.Ft.	236 Sq.Ft.
Rear Elevation (Parking Lot)	362 Sq.Ft.	144.8 Sq.Ft.	144.8 Sq.Ft.	154 Sq.Ft.

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As provided in the table above, the project would include the installation of approximately 229 square feet of signage on the building's front elevation facing San Fernando Mission Boulevard, approximately 150 square feet of signage on the building's side elevation facing Hollister Street, and approximately 235 square feet of signage on the building elevation facing the parking lot at the rear of the subject property. Additionally, window graphic signage would also be installed on the building, with 236 square feet of window signage along San Fernando Mission Boulevard and Hollister Street, respectively, and 154 square feet of window signage facing the parking lot at the rear of the subject property.

The proposed building mounted sign area would exceed the maximum permitted under the city's sign regulations for the elevations along San Fernando Mission Boulevard and the building elevation facing the parking lot at the rear of the subject property. In these cases, signage along these elevations would exceed the maximum permitted area of 150 square feet per frontage by approximately 79 square feet and 85 square feet, respectively. The sign area proposed along Hollister Street would not exceed the maximum 150 square feet and would be in compliance with the city's sign regulations. Furthermore, the proposed window graphic sign area along the building elevation facing the parking lot at the rear would exceed the maximum 40-percent window coverage area. Along Hollister Street, the maximum amount of window coverage with a total window area of 362 square feet is 144.8 square feet. As proposed, the window graphic signage for this elevation would exceed the maximum permitted by 9.2 square feet. The window graphic sign area proposed along the San Fernando Mission Boulevard and Hollister Street elevations would not exceed the maximum 40-percent coverage and would be in compliance with the city's window signage regulations.

To request approval of the proposed signage, the applicant has submitted a CUP application to allow the Commission to review and consider approval of a sign program meeting the corporate branding standards of WSS. Pursuant to City Code Section 106-933(7)(c), the city code allows for an applicant to request and the Commission to consider other potential types of signage and configurations as part of a sign program for the entire site. This includes requests for additional sign area above the maximum permitted under the respective zoning district, with the required findings for a CUP made in the affirmative by the Commission for the sign program's approval. It is staff's assessment that the proposed signage on each elevation is appropriate given the scale and massing of the improved building. The proposed signage would be evenly distributed along each of the

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building respective elevations to better integrate with the new modern architectural design of the building. Additional discussion regarding the conditional use permit process and required findings for approval is provided in Section 8 of the Analysis of this report.

- 7) **Variance.** A variance is a discretionary permit issued by the Planning and Preservation Commission allowing a property owner to deviate from a development standard or to build a structure not otherwise permitted under the applicable development standards. The statutory justification for a variance is that the owner would otherwise suffer a unique hardship under the general zoning regulations because the particular parcel is different from the others to which the regulation applies due to its size, shape, topography, location and/or surroundings.

A variance is subject to discretionary review and allows the Commission the opportunity to assess the proposal's consistency with the city's general plan policies, goals and objectives, zoning development standards, and design guidelines. This process provides for a review of the quality of site design and building layout, and of compatibility of the proposed development within its immediate surroundings.

Conditions imposed on the applicant through the discretionary review process may call for any measures that are reasonably related to the project. This principal is applied in the form of seven findings of fact that the Commission must consider in making its decision. All findings must be justified and upheld in the affirmative for approval of the variance. A negative determination on any single finding will uphold a denial.

If the Planning and Preservation Commission concurs with staff's assessment, it would be the Commission's determination that the findings for approval of the variance could be made in this instance based on the aforementioned discussion, and as explained below.

- a) **There are special circumstances or exceptional characteristics applicable to the property involved, including size, shape, topography, location, or surroundings such that strict application of the zoning ordinance deprives such property of privileges enjoyed by other property in the vicinity and under the identical zoning classification.**

The project site at 460 San Fernando Mission Boulevard is an approximate 17,500-square-foot lot that is currently improved with a 6,171-square-foot commercial building within the city's C-1 (Limited Commercial) zone. Originally developed in 1997, the intent of locating the existing building toward the front of the property along San Fernando Mission Boulevard was to provide a prominent storefront toward the street that would activate pedestrian activity, while locating areas for vehicle parking to rear. The requested variances for reduced front and side building setbacks along San Fernando Mission Boulevard and Hollister Street, respectively, would facilitate redevelopment and new investment to the site through the construction of a 3,842-square-foot addition to the existing building and the modernization of the existing building façade. The proposed front and side building setbacks would be in keeping

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with setbacks currently developed for similar commercial properties on the same block. The existing commercial structure located on the neighboring property at 456 San Fernando Mission Boulevard is currently built to the property line along its San Fernando Mission Boulevard front setback and Coronel Street side setback, with parking for the use provided toward the rear of the property. Furthermore, this neighboring facility includes a variance for off-site parking that allows the subject site to use a private parking facility located across the street on San Fernando Mission Boulevard.

Due to the size of the lot, strict application of development standards in this instance would reduce the building area of the commercial lot and impact the ability of the site to provide a portion of the required parking on-site. In addition, the requested variance for the use of an off-site parking facility to provide a portion of the required on-site parking and additional off-site surplus parking would allow for the project to comply with the city's parking regulations for the continued use of the site as a retail store, while mitigating the potential impacts related to under-parked commercial uses. The proposed layout of the project and configuration of the new building addition, with the proposed off-site parking facility, allows for improvements of the site that are of a high quality of architectural design and consistent with the San Fernando Commercial, Mixed-Use, Institutional Design Guidelines, while complying with the required parking for the project.

As a result, there are special circumstances or exceptional characteristics applicable to the property involved relating the size of the property and the existing location of commercial building that impair the ability to improve the existing building without encroaching into the required front and side setback and impair the ability of the site to provide the required parking for the project, without the use of the proposed off-site parking facility across the street from the project site in order to comply with the city's parking requirements. Therefore, based on this physical characteristics of the project site, strict application of the zoning ordinance and the development standards applicable to commercial property in the C-1 zone will deprive the subject property of privileges enjoyed by neighboring properties and other properties in the vicinity, including those properties under the identical zoning classification. Thus, it is staff's assessment that this finding can be made.

- b) The granting of such variance will not be detrimental to the public interest, safety, health or welfare, and will not be detrimental or injurious to the property or improvements in the same vicinity and zone in which the property is located.**

The granting of the requested variance to allow for reduced front and side setbacks for the proposed building improvements at 460 San Fernando Mission Boulevard, along with the use of an off-site parking facility at 1136 Hollister Street, would allow for the redevelopment of the site with an improved architectural design and surplus parking through the combination of proposed on-site and off-site parking facilities. The proposed development of the site and all associated on-site and off-site improvements

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would not be detrimental to the public interest, safety, health or welfare as the planned improvements and site layout would allow for the project to comply with city's parking requirements and improve the aesthetic character of the commercial corridor along San Fernando Mission Boulevard. Additionally, the proposed project and requested variances would not be detrimental or injurious to the property or improvements in the same vicinity and zone as the project, as the proposed improvements to building would provide similar setbacks to the neighboring property at 456 San Fernando Mission Boulevard. Thus, it is staff's assessment that this finding can be made.

- c) The granting of such variance will not be contrary to or in conflict with the general purposes and intent of the zoning ordinance, nor to the goals and programs of the General Plan.**

The goals and objectives of the San Fernando General Plan Land Use Element seek to promote the economic viability of commercial areas and attract new commercial activities within the city. (San Fernando General Plan Land Use Element Goals and Objectives I-V, Pg. IV-6.)

The requested variances to allow for reduced front and side building setbacks and for the use of an off-site parking facility to provide the required parking for the project would facilitate the planned improvements to the project site and allow for the project to comply with the city's parking regulations. The requested variances will facilitate the planned building and site improvements, while promoting the economic viability of commercial areas and new commercial activities at the site through the construction of the new building addition to expand retail uses at the subject property. In addition, investment in this commercial property has the potential effect of encouraging additional investment to neighboring commercial properties along the San Fernando Mission Boulevard corridor. Thus, it is staff's assessment that this finding can be made.

- d) The variance request is consistent with the purpose and intent of the zone in which the site is located.**

The purpose of the city's C-1 zone is to establish areas for limited commercial uses, which offer opportunities for retail and service uses (City Code Section 106-486). The existing retail store at 460 San Fernando Mission Boulevard is a use that is permitted within the C-1 zone pursuant to City Code Section 106-487(5) and consistent with the purpose of the zone. The requested variances for reduced front and side building setbacks would facilitate redevelopment and new investment to the site through the construction of a 3,842-square-foot addition to the existing building and the modernization of the existing building façade. The planned improvements would ensure the continued use of the subject property with commercial uses and a modern design that is of a high quality of architectural design, consistent with the San Fernando Commercial, Mixed-Use, Institutional Design Guidelines. The proposed

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facade improvements along both street frontages will also introduce architectural improvements that help promote walkability with a new prominent corner entrance and new window displays on both streets. Additionally, the requested variance for the use of an off-site parking facility would allow for the project to comply with the required parking for the project, along with providing surplus parking spaces, in compliance with the city's parking requirements. Thus, it is staff's assessment that this finding can be made.

**e) The subject site is physically suitable for the proposed variance.**

The subject property at 460 San Fernando Mission Boulevard is a corner property located on the easterly corner of San Fernando Mission Boulevard and Hollister Street. The site is fairly level, with no steep or severe changes in grade level. The requested variance to allow for reduced front and side building setbacks could be accommodated at the subject property while still retaining and improving landscaping along these setback areas. Furthermore, the requested variance to allow for the use of an off-site parking facility at 1136 Hollister Street to provide a portion of the required parking for the project, with additional surplus parking spaces, would allow for the project to comply with the city's parking requirements. The off-site parking facility provides sufficient lot area to physically accommodate the necessary vehicular area required for use as a parking lot. As such, the subject property at 460 San Fernando Mission Boulevard that is the subject of the reduced setback request and the off-site parking facility at 1136 Hollister Street are physically suitable for the proposed variance. Thus, it is staff's assessment that this finding can be made.

**f) There are adequate provisions for water, sanitation and public utilities and services to ensure that the proposed variance would not be detrimental to public health and safety.**

The existing commercial building, along with the proposed building addition and associated site improvements would continue to be adequately served by existing water, sanitation and public utilities services that are currently developed for the subject property. The project would be required to upgrade and install any new public utilities that are necessary for the proposed building improvements and continued operation of the retail store. Any infrastructure and utility upgrades required as part of the project would be developed in compliance with all applicable city building codes and any additional requirements from the Public Works Department. The requested variances to allow for reduced front and side setbacks and the use of the off-site parking facility would not impair the ability of the project site to provide adequate provisions for water, sanitation and public utilities and services. Furthermore, the requested variances and the project, as proposed, would ensure that the project would not be detrimental to public health and safety, both at the project site, the off-site parking facility, or in the vicinity of the subject property. Thus, it is staff's assessment that this finding can be made.

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**g) There will be adequate provisions for public access to service the property which is the subject of the variance.**

The project site at 460 San Fernando Mission Boulevard would provide adequate provisions for public access to service the subject property with the proposed building and site improvements to be developed through the project's implementation. The improvements to the building would create a new primary front entry on the corner of San Fernando Mission Boulevard and Hollister Street that is accessible to pedestrians and an improved rear entry accessible from the on-site parking lot of the subject property. Adequate vehicular ingress and egress to the subject property and off-site parking facility at 1336 Hollister Street would be provided by a 24-foot wide driveway for two-way vehicular access on each site. Additionally, as part of the required off-site improvements, broken, damaged, and deteriorated portions of the sidewalk adjacent to the project site along San Fernando Mission Boulevard would be replaced, improving pedestrian safety along the project site. Thus, it is staff's assessment that this finding can be made.

**8) Conditional Use Permit Findings.** As the name implies, a Conditional Use Permit (CUP) allows the city the ability to consider specified uses that might not otherwise be allowed as a principally permitted use, provided the landowner or applicant meets certain conditions of approval. The basic goal of the CUP is to allow the full range of land uses required for the community to function, while still giving the community some control over individual situations that could result in land use conflicts and/or negative environmental impacts. CUPs are important to land use planning because it allows the Commission to review the potential impacts associated with the discretionary review of the proposed development.

A CUP is subject to discretionary review by the Commission. Discretionary review is a process that permits the Commission to review individual cases for proposed uses of the land and approve a project subject to specific conditions or deny the CUP request. Conditions of project approval imposed on the applicant through the discretionary review process may call for any measures that are reasonably related to preventing potential adverse land use and/or environmental impacts that might be associated with the project.

The approval or denial of a CUP is based on the Commission's ability to be reasonably satisfied with the project and that it possesses certain characteristics that are identified in the form of 10 findings of fact, as required per City Code Section 106-145. All findings must be justified and upheld in the affirmative for approval of the CUP; a negative determination on any single finding is grounds for a denial of the CUP.

It is staff's assessment that the findings for approval of the CUP can be made in this instance based on the aforementioned discussion, and as explained below for each of the required findings of fact.

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- a) The proposed use is one conditionally permitted within the subject zone and complies with all applicable sections of the zoning ordinance.**

Pursuant to City Code Section 106-933(7)(c), the city code allows for applicants to request and the Commission to consider other potential types of signage and configurations as part of a sign program for the entire site. This includes requests for additional sign area above the maximum permitted under the respective zoning district, with the required findings for a CUP made in the affirmative by the Commission for the sign program's approval. Thus, it is staff's assessment that this finding can be made in this case

- b) The proposed use would not impair the integrity and character of the zone in which it is to be located.**

The purpose of the city's C-1 zone is to establish areas for commercial uses that offer opportunities for retail and service uses. (City Code Section 106-486). The proposed building and site improvement would allow for continued use of the site for retail uses (i.e., retail shoe store) consistent with the purpose of the C-1 zone. Furthermore, the purpose and intent of the city's sign regulations are to emphasize the importance of business activity to the economic vitality of the city, help improve the ability of business owners and operators to identify their businesses to the community in order to enhance the furtherance of commerce, foster varied and interesting places of trade, and promote public safety by making business signing visible to the passing public. (City Code Section 106-926(a)).

The proposed sign program is consistent with the purpose and intent of the city's sign regulations would provide for signage that adequately advertises the retail store while being compatible with the architectural design of the building. The even distribution of signage throughout the site would be architecturally compatible with the overall scale and design of the building, while allowing for the phasing out and removal of an existing pole sign on the easterly corner of San Fernando Mission Boulevard and Hollister Street without impairing the integrity or character of the zone in which it is to be located. Thus, it is staff's assessment that this finding can be made.

- c) The subject site is physically suitable for the type of land use being proposed.**

The subject property at 460 San Fernando Mission Boulevard with the planned improvements and addition to the existing commercial building would be suitable for the requested sign program. The proposed sign area would be distributed evenly throughout the San Fernando Mission Boulevard, Hollister Street, and rear parking lot elevations of the building in manner that complements the improved modern architectural design of the building. Thus, it is staff's assessment that this finding can be made.

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**d) The proposed use is compatible with land uses presently on the subject property.**

The installation of signage on a commercial building is customary and complementary to the use of the subject property as a retail footwear and apparel store. The proposed signage would adequately promote the existing business and be compatible with the overall design of the improved building. Thus, it is staff's assessment that this finding can be made.

**e) The proposed use would be compatible with the existing and future land uses within the zone and the general area in which the proposed use is to be located.**

The installation of signage on a commercial building would allow for continued use of the subject property located in the C-1 zone as a retail footwear and apparel store. Commercial uses, with the installation of signage customary and complementary similar commercial business, are compatible with the existing and future land uses envisioned in the C-1 zone and the commercial corridor along San Fernando Mission Boulevard. Thus, it is staff's assessment that this finding can be made.

**f) There would be adequate provisions for water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety.**

The requested entitlement to allow for the installation of signage as part of a sign program for the project site would not adversely impact water, sanitation, and public utilities developed for the existing commercial building. Thus, it is staff's assessment that this finding can be made.

**g) There would be adequate provisions for public access to serve the subject proposal.**

The requested sign program and subsequent installation of new signage on the improved building facades would not adversely impact or impair public access to the subject property. The new signage, rather, would adequately advertise the existing retail store and increase public awareness of its location. Thus, it is staff's assessment that this finding can be made in this case.

**h) The proposed use would be appropriate in light of an established need for the use at the proposed location.**

The installation of signage on a commercial building to effectively advertise a business is a customary activity that occurs throughout all of the city's commercially zoned districts. The requested sign program for the improved building would provide a greater area of signage than permitted by the city's sign regulations, however, the proposed signage would be appropriate for architectural design and building massing of the improved commercial building at 460 San Fernando Mission Boulevard.

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Furthermore, the proposed sign program would help improve the ability of the existing business to identify itself to the community in order to enhance the furtherance of commerce in the area and promote public safety by making business signage visible to the passing public, consistent with the purpose and intent of the city's sign regulations. Thus, it is staff's assessment that this finding can be made in this case.

**i) The proposed use is consistent with the objectives, policies, general land uses and programs of the City's general plan.**

The goals and objectives of the San Fernando General Plan Land Use Element seek to promote the economic viability of commercial areas, maintain an identity that is distinct from surrounding communities, and attract new commercial activities within the city. (San Fernando General Plan Land Use Element Goals and Objectives I-V, Pg. IV-6.)

The requested entitlement to allow for increased signage as part of a sign program would allow for WSS, the tenant of the commercial building, to implement current corporate branding standards while breaking up the proposed signage evenly throughout each elevation of the building. The proposed distribution of signage throughout the site helps complement the modern design of the building's rehabilitated façades, while phasing out the use of an existing pole sign through its removal. The requested entitlement facilitates the planned building and site improvements, while promoting the economic viability of commercial areas and attached new commercial activities. In addition, investment in this commercial property has the potential effect of encouraging additional investment to neighboring commercial properties along the San Fernando Mission Boulevard commercial corridor. Thus, it is staff's assessment that this finding can be made in this case.

**j) The proposed use would not be detrimental to the public interest, health, safety, convenience or welfare.**

The requested sign program would complement the new modern architectural design of the building and provide for additional improvements throughout the site. As part of the project, an existing deteriorated pole sign located on the corner of San Fernando Mission Boulevard and Hollister Street would be removed in order to accommodate a well defined tower feature and new front entry at the corner of San Fernando Mission Boulevard and Hollister Street. Thus, it is staff's assessment that this finding can be made in this case.

**CONCLUSION:**

In light of the forgoing analysis, it is staff's assessment that the proposed improvements to the subject property at 460 San Fernando Mission Boulevard, along with all proposed on-site and off-site public improvements, including the use of an off-site parking facility at 1136 Hollister Street, would significantly improve the site and provide a high quality of architectural design in a

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manner consistent with the City General Plan's goals and objectives and the *San Fernando Commercial, Mixed-Use, Institutional Design Guidelines*.

Therefore, staff recommends that the Planning and Preservation Commission approve Conditional Use Permit 2013-07 and Variance 2013-04, pursuant to Planning and Preservation Commission Resolution 2013-07 and the Conditions of Approval attached as Exhibit "A" to the resolution (Attachment 1).

**Attachments (7):**

1. Planning and Preservation Commission Resolution 2013-07 and Exhibit "A": Conditions of Approval
  2. Conditional Use Permit, Variance, and Site Plan Review Applications
  3. Zoning Map
  4. Vicinity Map
  5. Public Hearing Notices for Project
  6. Project Site Photos
  7. Site Plan, Floor Plans, Elevations, and Building Renderings
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**ATTACHMENT 1:**

**Planning and Preservation Commission  
Resolution 2013-07 and  
Exhibit “A”: Conditions of Approval**

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Double-Sided Printing

## **RESOLUTION NO. 2013-07**

**A RESOLUTION OF THE PLANNING AND PRESERVATION COMMISSION OF THE CITY OF SAN FERNANDO APPROVING VARIANCE 2013-04 TO ALLOW FOR THE CONSTRUCTION OF A 3,842-SQUARE-FOOT ADDITION TO AN EXISTING COMMERCIAL BUILDING AT 460 SAN FERNANDO MISSION BOULEVARD WITH REDUCED FRONT AND SIDE SETBACKS AND AN OFF-SITE PARKING FACILITY AT 1136 HOLLISTER STREET AND APPROVING CONDITIONAL USE PERMIT 2013-07 TO ALLOW FOR A SIGN PROGRAM WITH INCREASED SIGNAGE ABOVE THE MAXIMUM PERMITTED IN THE C-1 (COMMERCIAL) ZONE.**

WHEREAS, an application has been filed by William Argueta of WSS to request review and approval of a variance to allow for the construction of a 3,842-square-foot addition to an existing 6,171-square-foot commercial building with a reduced front setback along San Fernando Mission Boulevard, a reduced side setback along Hollister Street, and the use of an off-site parking facility located at 1136 Hollister Street to provide the required parking for the project through the combination of on-site and off-site parking. The project site at 460 San Fernando Mission Boulevard is an approximate 17,500-square-foot lot located within the C-1 (Limited Commercial) zone and the proposed off-site parking lot at 1136 Hollister Street is an approximate 10,000-square-foot lot located within the R-2 (Multiple Family Residential) zone.

WHEREAS, an application has been filed by the applicant to request review and approval of a conditional use permit to allow for the installation of signage on the improved building commercial building at 460 San Fernando Mission Boulevard that exceeds the maximum sign area permitted by City Code Sections 106-933(1) and 106-933(9)(b) as part of a Sign Program for the entire site.

WHEREAS, the applicant has requested approval of the requested variance pursuant to City Code Sections 106-295 and 106-827(a) to allow for reduced front and side building setbacks and allow for the use of an off-site parking facility for the project and requested approval of requested conditional use permit pursuant to City Code Sections 106-145 and 106-933(7)(c) to allow for a sign program with increased sign area.

WHEREAS, the Planning and Preservation Commission has considered all of the evidence presented in connection with the project, written and oral at the public hearing held on the 20th day of August 2013.

NOW, THEREFORE, BE IT RESOLVED that the Planning and Preservation Commission finds as follows:

SECTION 1: This project has been reviewed by the City for compliance with the California Environmental Quality Act (CEQA). Based on the City's environmental assessment, it is the Planning and Preservation Commission's assessment that this project proposal qualifies for a

Categorical Exemption under Class 32 (In-Fill Development Project) of San Fernando's CEQA Guidelines;

SECTION 2: The proposed project is consistent with the objectives, policies, and general land uses and programs provided in the City's General Plan and the applicable development standards for commercially zoned property within the C-1 zone and residentially zoned property within the R-1 zone; and

SECTION 4: Pursuant to City Code Section 106-295, the Planning and Preservation Commission finds that the following findings for Variance 2013-04, to allow for the construction of a 3,842-square-foot addition to an existing 6,171-square-foot commercial building with a reduced front setback along San Fernando Mission Boulevard, a reduced side setback along Hollister Street, and the use of an off-site parking facility located at 1136 Hollister Street to provide the required parking for the project have been justified and upheld in the affirmative. The Planning and Preservation Commission finds are as follows:

- 1) There are special circumstances or exceptional characteristics applicable to the property involved, including size, shape, topography, location, or surroundings such that strict application of the zoning ordinance deprives such property of privileges, enjoyed by other property in the vicinity and under the identical zoning classification.**

The project site at 460 San Fernando Mission Boulevard is an approximate 17,500-square-foot lot that is currently improved with a 6,171-square-foot commercial building within the city's C-1 (Limited Commercial) zone. Originally developed in 1997, the intent of locating the existing building toward the front of the property along San Fernando Mission Boulevard was to provide a prominent storefront toward the street that would activate pedestrian activity, while locating areas for vehicle parking to rear. The requested variances for reduced front and side building setbacks along San Fernando Mission Boulevard and Hollister Street, respectively, would facilitate redevelopment and new investment to the site through the construction of a 3,842-square-foot addition to the existing building and the modernization of the existing building façade. The proposed front and side building setbacks would be in keeping with setbacks currently developed for similar commercial properties on the same block. The existing commercial structure located on the neighboring property at 456 San Fernando Mission Boulevard is currently built to the property line along its San Fernando Mission Boulevard front setback and Coronel Street side setback, with parking for the use provided toward the rear of the property. Furthermore, this neighboring facility includes a variance for off-site parking that allows the subject site to use a private parking facility located across the street on San Fernando Mission Boulevard.

Due to the size of the lot, strict application of development standards in this instance would reduce the building area of the commercial lot and impact the ability of the site to provide a portion of the required parking on-site. In addition, the requested variance for the use of an off-site parking facility to provide a portion of the required on-site parking and additional off-site surplus parking would allow for the project to comply with the city's parking regulations for the continued use of the site as a retail store, while mitigating the potential impacts related to under-parked commercial uses. The proposed layout of the project and configuration of the

new building addition, with the proposed off-site parking facility, allows for improvements of the site that are of a high quality of architectural design and consistent with the San Fernando Commercial, Mixed-Use, Institutional Design Guidelines, while complying with the required parking for the project.

As a result, there are special circumstances or exceptional characteristics applicable to the property involved relating the size of the property and the existing location of commercial building that impair the ability to improve the existing building without encroaching into the required front and side setback and impair the ability of the site to provide the required parking for the project, without the use of the proposed off-site parking facility across the street from the project site in order to comply with the city's parking requirements. Therefore, based on this physical characteristics of the project site, strict application of the zoning ordinance and the development standards applicable to commercial property in the C-1 zone will deprive the subject property of privileges enjoyed by neighboring properties and other properties in the vicinity, including those properties under the identical zoning classification. Thus, it is the commission's determination that this finding can be made in this case.

- 2) The granting of such variance will not be detrimental to the public interest, safety, health or welfare, and will not be detrimental or injurious to the property or improvements in the same vicinity and zone in which the property is located.**

The granting of the requested variance to allow for reduced front and side setbacks for the proposed building improvements at 460 San Fernando Mission Boulevard, along with the use of an off-site parking facility at 1136 Hollister Street, would allow for the redevelopment of the site with an improved architectural design and surplus parking through the combination of proposed on-site and off-site parking facilities. The proposed development of the site and all associated on-site and off-site improvements would not be detrimental to the public interest, safety, health or welfare as the planned improvements and site layout would allow for the project to comply with city's parking requirements and improve the aesthetic character of the commercial corridor along San Fernando Mission Boulevard. Additionally, the proposed project and requested variances would not be detrimental or injurious to the property or improvements in the same vicinity and zone as the project, as the proposed improvements to building would provide similar setbacks to the neighboring property at 456 San Fernando Mission Boulevard. Thus, it is the commission's determination that this finding can be made in this case.

- 3) The granting of such variance will not be contrary to or in conflict with the general purposes and intent of the zoning ordinance, nor to the goals and programs of the General Plan.**

The goals and objectives of the San Fernando General Plan Land Use Element seek to promote the economic viability of commercial areas and attract new commercial activities within the city. (San Fernando General Plan Land Use Element Goals and Objectives I-V, Pg. IV-6.)

The requested variances to allow for reduced front and side building setbacks and for the use of an off-site parking facility to provide the required parking for the project would facilitate the planned improvements to the project site and allow for the project to comply with the city's parking regulations. The requested variances will facilitate the planned building and site improvements, while promoting the economic viability of commercial areas and new commercial activities at the site through the construction of the new building addition to expand retail uses at the subject property. In addition, investment in this commercial property has the potential effect of encouraging additional investment to neighboring commercial properties along the San Fernando Mission Boulevard corridor. Thus, it is the commission's determination that this finding can be made in this case.

**4) The variance request is consistent with the purpose and intent of the zone in which the site is located.**

The purpose of the city's C-1 zone is to establish areas for limited commercial uses, which offer opportunities for retail and service uses (City Code Section 106-486). The existing retail store at 460 San Fernando Mission Boulevard is a use that is permitted within the C-1 zone pursuant to City Code Section 106-487(5) and consistent with the purpose of the zone. The requested variances for reduced front and side building setbacks would facilitate redevelopment and new investment to the site through the construction of a 3,842-square-foot addition to the existing building and the modernization of the existing building façade. The planned improvements would ensure the continued use of the subject property with commercial uses and a modern design that is of a high quality of architectural design, consistent with the San Fernando Commercial, Mixed-Use, Institutional Design Guidelines. The proposed facade improvements along both street frontages will also introduce architectural improvements that help promote walkability with a new prominent corner entrance and new window displays on both streets. Additionally, the requested variance for the use of an off-site parking facility would allow for the project to comply with the required parking for the project, along with providing surplus parking spaces, in compliance with the city's parking requirements. Thus, it is the commission's determination that this finding can be made in this case.

**5) The subject site is physically suitable for the proposed variance.**

The subject property at 460 San Fernando Mission Boulevard is a corner property located on the easterly corner of San Fernando Mission Boulevard and Hollister Street. The site is fairly level, with no steep or severe changes in grade level. The requested variance to allow for reduced front and side building setbacks could be accommodated at the subject property while still retaining and improving landscaping along these setback areas. Furthermore, the requested variance to allow for the use of an off-site parking facility at 1136 Hollister Street to provide a portion of the required parking for the project, with additional surplus parking spaces, would allow for the project to comply with the city's parking requirements. The off-site parking facility provides sufficient lot area to physically accommodate the necessary vehicular area required for use as a parking lot. As such, the subject property at 460 San Fernando Mission Boulevard that is the subject of the reduced setback request and the off-site



parking facility at 1136 Hollister Street are physically suitable for the proposed variance. Thus, it is the commission's determination that this finding can be made in this case.

**6) There are adequate provisions for water, sanitation and public utilities and services to ensure that the proposed variance would not be detrimental to public health and safety.**

The existing commercial building, along with the proposed building addition and associated site improvements would continue to be adequately served by existing water, sanitation and public utilities services that are currently developed for the subject property. The project would be required to upgrade and install any new public utilities that are necessary for the proposed building improvements and continued operation of the retail store. Any infrastructure and utility upgrades required as part of the project would be developed in compliance with all applicable city building codes and any additional requirements from the Public Works Department. The requested variances to allow for reduced front and side setbacks and the use of the off-site parking facility would not impair the ability of the project site to provide adequate provisions for water, sanitation and public utilities and services. Furthermore, the requested variances and the project, as proposed, would ensure that the project would not be detrimental to public health and safety, both at the project site, the off-site parking facility, or in the vicinity of the subject property. Thus, it is the commission's determination that this finding can be made in this case.

**7) There will be adequate provisions for public access to service the property which is the subject of the variance.**

The project site at 460 San Fernando Mission Boulevard would provide adequate provisions for public access to service the subject property with the proposed building and site improvements to be developed through the project's implementation. The improvements to the building would create a new primary front entry on the corner of San Fernando Mission Boulevard and Hollister Street that is accessible to pedestrians and an improved rear entry accessible from the on-site parking lot of the subject property. Adequate vehicular ingress and egress to the subject property and off-site parking facility at 1336 Hollister Street would be provided by a 24-foot wide driveway for two-way vehicular access on each site. Additionally, as part of the required off-site improvements, broken, damaged, and deteriorated portions of the sidewalk adjacent to the project site along San Fernando Mission Boulevard would be replaced, improving pedestrian safety along the project site. Thus, it is the commission's determination that this finding can be made in this case.

SECTION 4: Pursuant to City Code Section 106-145, the Planning and Preservation Commission finds that the following findings for Conditional Use Permit 2013-07 have been justified and upheld in the affirmative because of the recommended conditions of approval to allow for the installation of signage on the improved building commercial building at 460 San Fernando Mission Boulevard that exceeds the maximum sign area permitted by the city's sign regulation as part of a sign program for the project site. The Planning and Preservation Commission findings are as followed:

**1. The proposed use is one conditionally permitted within the subject zone and complies with all applicable sections of the zoning ordinance.**

Pursuant to City Code Section 106-933(7)(c), the city code allows for applicants to request and the Commission to consider other potential types of signage and configurations as part of a sign program for the entire site. This includes requests for additional sign area above the maximum permitted under the respective zoning district, with the required findings for a CUP made in the affirmative by the Commission for the sign program's approval. Thus, it is the commission's determination that this finding can be made in this case.

**2. The proposed use would not impair the integrity and character of the zone in which it is to be located.**

The purpose of the city's C-1 zone is to establish areas for commercial uses that offer opportunities for retail and service uses. (City Code Section 106-486). The proposed building and site improvement would allow for continued use of the site for retail uses (i.e., retail shoe store) consistent with the purpose of the C-1 zone. Furthermore, the purpose and intent of the city's sign regulations are to emphasize the importance of business activity to the economic vitality of the city, help improve the ability of business owners and operators to identify their businesses to the community in order to enhance the furtherance of commerce, foster varied and interesting places of trade, and promote public safety by making business signing visible to the passing public. (City Code Section 106-926(a)).

The proposed sign program is consistent with the purpose and intent of the city's sign regulations would provide for signage that adequately advertises the retail store while being compatible with the architectural design of the building. The even distribution of signage throughout the site would be architecturally compatible with the overall scale and design of the building, while allowing for the phasing out and removal of an existing pole sign on the easterly corner of San Fernando Mission Boulevard and Hollister Street without impairing the integrity or character of the zone in which it is to be located. Thus, it is the commission's determination that this finding can be made in this case.

**3. The subject site is physically suitable for the type of land use being proposed.**

The subject property at 460 San Fernando Mission Boulevard with the planned improvements and addition to the existing commercial building would be suitable for the requested sign program. The proposed sign area would be distributed evenly throughout the San Fernando Mission Boulevard, Hollister Street, and rear parking lot elevations of the building in manner that complements the improved modern architectural design of the building. Thus, it is the commission's determination that this finding can be made in this case.

**4. The proposed use is compatible with land uses presently on the subject property.**

The installation of signage on a commercial building is customary and complementary to the use of the subject property as a retail footwear and apparel store. The proposed signage would adequately promote the existing business and be compatible with the overall design of the

improved building. Thus, it is the commission's determination that this finding can be made in this case.

**5. The proposed use would be compatible with the existing future land uses within the zone and the general area in which the proposed use is to be located.**

The installation of signage on a commercial building would allow for continued use of the subject property located in the C-1 zone as a retail footwear and apparel store. Commercial uses, with the installation of signage customary and complementary similar commercial business, are compatible with the existing and future land uses envisioned in the C-1 zone and the commercial corridor along San Fernando Mission Boulevard. Thus, it is the commission's determination that this finding can be made in this case.

**6. There would be adequate provisions for water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety.**

The requested entitlement to allow for the installation of signage as part of a sign program for the project site would not adversely impact water, sanitation, and public utilities developed for the existing commercial building. Thus, it is the commission's determination that this finding can be made in this case.

**7. There would be adequate provisions for public access to serve the subject proposal.**

The requested sign program and subsequent installation of new signage on the improved building facades would not adversely impact or impair public access to the subject property. The new signage, rather, would adequately advertise the existing retail store and increase public awareness of its location. Thus, it is the commission's determination that this finding can be made in this case.

**8. The proposed use would be appropriate in light of an established need for the use at the proposed location.**

The installation of signage on a commercial building to effectively advertise a business is a customary activity that occurs throughout all of the city's commercially zoned districts. The requested sign program for the improved building would provide a greater area of signage than permitted by the city's sign regulations, however, the proposed signage would be appropriate for architectural design and building massing of the improved commercial building at 460 San Fernando Mission Boulevard. Furthermore, the purposed sign program would help improve the ability of the existing business to identify itself to the community in order to enhance the furtherance of commerce in the area and promote public safety by making business signage visible to the passing public, consistent with the purpose and intent of the city's sign regulations. Thus, it is the commission's determination that this finding can be made in this case.

**9. The proposed use is consistent with the objectives, policies, general land uses and programs of the City's general plan.**

The goals and objectives of the San Fernando General Plan Land Use Element seek to promote the economic viability of commercial areas, maintain an identity that is distinct from surrounding communities, and attract new commercial activities within the city. (San Fernando General Plan Land Use Element Goals and Objectives I-V, Pg. IV-6.)

The requested entitlement to allow for increased signage as part of a sign program would allow for WSS, the tenant of the commercial building, to implement current corporate branding standards while breaking up the proposed signage evenly throughout each elevation of the building. The proposed distribution of signage throughout the site helps complement the modern design of the building's rehabilitated façades, while phasing out the use of an existing pole sign through its removal. The requested entitlement facilitates the planned building and site improvements, while promoting the economic viability of commercial areas and attached new commercial activities. In addition, investment in this commercial property has the potential effect of encouraging additional investment to neighboring commercial properties along the San Fernando Mission Boulevard commercial corridor. Thus, it is the commission's determination that this finding can be made in this case.

**10. The proposed use would not be detrimental to the public interest, health, safety, convenience or welfare.**

The requested sign program would complement the new modern architectural design of the building and provide for additional improvements throughout the site. As part of the project, an existing deteriorated pole sign located on the corner of San Fernando Mission Boulevard and Hollister Street would be removed in order to accommodate a well defined tower feature and new front entry at the corner of San Fernando Mission Boulevard and Hollister Street. Thus, it is the commission's determination that this finding can be made in this case.

BE IT FURTHER RESOLVED that based upon the foregoing, the Planning and Preservation Commission hereby approves Variance 2013-04 and Conditional Use Permit 2013-07, subject to the conditions of approval attached as Exhibit "A".

PASSED, APPROVED AND ADOPTED this 20th day of August 2013.

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THEALE E. HAUPT, CHAIRPERSON

ATTEST:

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FRED RAMIREZ, SECRETARY TO THE PLANNING  
AND PRESERVATION COMMISSION

STATE OF CALIFORNIA       )  
COUNTY OF LOS ANGELES   ) ss  
CITY OF SAN FERNANDO     )

I, FRED RAMIREZ, Secretary to the Planning and Preservation Commission of the City of San Fernando, do hereby certify that the foregoing Resolution was duly adopted by the Planning and Preservation Commission and signed by the Chairperson of said City at a meeting held on the 20th day of August 2013; and that the same was passed by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

---

FRED RAMIREZ, SECRETARY TO THE PLANNING AND  
PRESERVATION COMMISSION

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**EXHIBIT “A”**  
**CONDITIONS OF APPROVAL**

- PROJECT NO.** : **Variance 2013-04 and Conditional Use Permit 2013-07**
- PROJECT ADDRESS** : 460 San Fernando Mission Boulevard and 1136 Hollister Street, San Fernando, CA 91340  
(Los Angeles County Assessor’s Parcel No’s.: 2521-028-009, 2521-028-016, and 2521-029-037)
- PROJECT DESCRIPTION** : The proposed project is a request for review and approval of variance and conditional use permit (CUP) applications to allow for the construction of a 3,842-square-foot addition to an existing 6,171-square-foot commercial building with reduced front and side setbacks, an off-site parking facility, and additional signage requested as part of a sign program. The project site at 460 San Fernando Mission Boulevard is an approximate 17,500-square-foot lot located on the easterly corner of San Fernando Mission Boulevard and Hollister Street, within the C-1 (Limited Commercial) zone. The site of the planned off-site parking facility at 1136 Hollister Street is an approximate 10,000-square-foot lot located on the southwesterly portion of the 1100 block of Hollister Street, between San Fernando Mission Boulevard and South Maclay Avenue, within the R-2 (Multiple Family Residential) zone.

The following conditions shall be made a part of the approval of the project, and shall be complied with in their entirety, as determined by the Community Development Department:

1. Variance Entitlement. The variance is granted for the land described in this application and any attachments thereto including but not limited to site plan, exterior elevations, floor plans, and landscape plan (See “Attachment 1” of these Conditions of Approval), as reviewed by the Planning and Preservation Commission on August 20, 2013, except as herein modified to comply with these Conditions of Approval.
2. Conditional Use Permit Entitlement. The conditional use permit is granted for the land described in this application and any attachments thereto (See “Attachment 1” of these Conditions of Approval), as reviewed by the Planning and Preservation Commission on August 20, 2013, except as herein modified to comply with these Conditions of Approval.
3. Indemnification. The property owner and developer shall indemnify, protect, hold harmless and defend the City and any agency or instrumentality thereof, and/or any of its officers, employees and agents from any and all claims, actions, or proceedings against the City to attack, set aside, void, annul, seek monetary damages resulting from an approval of the City, or any agency or instrumentality thereof, advisory agency, appeal board or legislative body including actions approved by the voter of the City, concerning the entitlement application. City shall promptly notify both the property owner and developer of any claim, action, or proceeding to which this condition is applicable and shall further cooperate fully in the defense of the action. The City reserves its right to take any and all action the City deems to be in the best interest of the City and its citizens in regard to

such defense. The property owner and developer shall defend, indemnify and hold harmless the City for all costs and fees incurred in additional investigation or study of, or for supplementing, redrafting, revising, or amending, any document (such as an environmental impact report or related environmental assessment) if made necessary through the initiation of the project.

4. Occupancy per Approval. The subject property shall be improved in substantial conformance with the site plan, exterior elevations, floor plans, and landscape plan, as reviewed by the Planning and Preservation Commission on August 20, 2013, except as herein modified to comply with these Conditions of Approval.
5. Attached Checklist. The applicant shall comply with the requirements as listed in the attached Public Works Department Development/Improvement Review Checklist (See “Attachment 2” of these Conditions of Approval).
6. Construction Plans. A copy of the Conditions of Approval shall be printed on the final building plans submitted to the Community Development Department prior to the issuance of a building permit for the construction of a medical building and associated redesign of existing on-site parking facilities.
7. Building Code Requirements. The applicant shall comply with all applicable building and construction requirements of the City of San Fernando’s building codes, as specified by the Community Development Department.
8. Design. The construction plans shall provide details as necessary to accomplish the architectural design intent conveyed by the conceptual plans reviewed and approved by the Planning and Preservation Commission on August 20, 2013, in a manner consistent with the adopted *San Fernando Commercial, Mixed-Use, and Institutional Design Guidelines*. Any proposed variations or modifications to the site plan, exterior elevations, landscape plan, and grading and drainage plan approved by the commission on July 2, 2013, shall require prior review and approval by the Community Development Department.
9. Landscape. All proposed on-site and off-site plantings shall be kept in a healthy and growing condition, consistent with the design of a landscape and irrigation plan approved by the Community Development Department. Fertilization, cultivation, tree pruning shall be a part of regular maintenance. Good horticultural practices shall be followed in all instances. The landscape design shall be further refined as necessary to improve the level of design quality by focusing on important design principles. Further landscape design refinements shall address, but not be limited to, the following:
  - a) The landscaping shall be provided with an appropriate low-maintenance landscape design and material selection that is attractive, durable and drought-tolerant. All proposed landscape shall be arranged to emphasize visual attractiveness as viewed from the public right-of-way. To achieve a maximum visual impact and soften the appearance of exterior building walls, the landscape plan shall incorporate mature plants that are planted at high densities;
  - b) All proposed landscaped areas shall be served by well-balanced automatic irrigation system operated by an electrically timed controller station set for early morning irrigation and maintained in a manner consistent with the approved landscape plan. The final



landscape/irrigation plan shall identify the size and location of all landscape materials and irrigation equipment. Water conservation measures shall be incorporated in the irrigation plan;

- c) The landscape plan shall provide specifications for the following: design of hardscape elements, including pedestrian walkways, paved areas, common areas, seating, landscape planters, lighting, etc.; planting materials, including, trees, shrubs, ground cover, grass, miscellaneous plant materials, landscape containers and soil preparation; and, automatic irrigation plans, including materials and details; and,
  - d) A backflow preventer device shall be installed, tested, and inspected by the Public Works Department to protect water supplies from contamination or pollution.
  - e) Within 15 feet of the edge of a driveway, all vertical landscaping shall not exceed a maximum height of three (3) feet to maintain adequate visibility of pedestrians walking on the sidewalks abutting the project site.
10. Trash Enclosure. The trash enclosure shall include obscured doors with an exterior wall finish that is complementary to the overall design of the existing and proposed buildings on-site. Trash and recycling bins shall be kept within the trash enclosure area only, and the trash area shall be kept free of trash overflow and maintained in a clean manner at all times with no trash visible from the public right-of-way.
11. Lighting. All exterior lighting shall be decorative cut-off fixtures (where no light is emitted above the horizontal plane) with the light source fully shielded or recessed to preclude light trespass or pollution up into the night sky. Also, any building-mounted luminaries shall be attached to walls or soffits, and the top of the fixture shall not exceed the height of the roof. All proposed light fixtures shall be designed in a manner that is consistent with the overall design of the building and shall not disturb or create glare towards neighboring properties. In addition, any decorative uplighting, such as those that illuminate building facades or landscaping, shall be operated on timers that turn off illumination no later than 12 midnight, nightly. The Community Development Department shall review and approve all light fixtures prior to installation. In addition, all lighting shall also comply with the following requirements:
- a) The equivalent of one foot-candle of illumination shall be provided throughout the parking area;
  - b) All lighting shall be on a time-clock or photo-sensor system;
  - c) All lighting shall be designed to confine direct rays to the premises. No spillover beyond the property line shall be permitted; and,
  - d) Illumination shall not include low pressure sodium lighting.
12. Mechanical and Utility Equipment. All roof-mounted and/or ground mounted mechanical and utility equipment, including but not limited to transformers, terminal boxes, risers, backflow devices, gas meters, electric meters, meter cabinets, and heating, ventilation, and air conditioning (HVAC) units shall be screened from public view and treated to match the materials and colors of the building. All Electrical service facilities and equipment on or adjacent to the site shall be planned and located,

relocated or modified in a manner consistent with Southern California Edison Company guidelines to minimize human exposure to electromagnetic fields on the site and on adjacent properties, and with any other applicable requirements or guidelines of the California Public Utilities Commission or any other agency with jurisdiction, unless otherwise specified by the Community Development Department. All mechanical and utility equipment locations and screening/treatment shall be approved by the Community Development Department prior to installation or modification.

13. Automatic Fire-Extinguishing System. Prior to issuance of a building permit, the applicant shall obtain all the required fire safety clearances from the Los Angeles Fire Department and the City of San Fernando. The building shall be fully equipped with an automatic fire-extinguishing system reviewed and approved by the City of San Fernando and the Los Angeles Fire Department, unless determined otherwise by the Los Angeles Fire Department and the Community Development Department.
14. Property Maintenance. The subject site and its immediate surrounding area shall be maintained in a clean, neat, quiet and orderly manner at all times and shall comply with the property maintenance standards as set forth in the San Fernando City Code.
15. Graffiti Removal. The property owner(s), operator and all successors shall comply with the graffiti removal and deterrence requirements of the San Fernando City Code. The property owner(s), operator and all successors shall provide for the immediate removal of any graffiti vandalism occurring on the property and, where applicable, the restoration of the surface on which the graffiti exists. Such restoration shall entail repainting or refinishing of the surface with a color or finish that matches the color or finish of the remaining portions of the structure being painted, and including treatment of the surface or site with measures to deter future graffiti vandalism as approved or required by the Community Development Department. Unless removed by the property owner or their designee within the specified time frame required by city code, property owner(s), operator and all successors shall grant the right of access to authorized agents of the City of San Fernando to remove graffiti from any surface on the property that is open and accessible from city property or public right-of-way, at the expense of the owner(s) or operator and all successors.
16. Signs. All proposed signs and sign fixtures shall comply with the approvals issued by the Planning and Preservation through the approval of the Conditional Use Permit 2013-07, as provided on the set of plans for the project (See "Attachment 1" of these Conditions of Approval). Specifically, the improved commercial building at 460 San Fernando Road shall not exceed the square footage of signage noted on Sheets A-3.0 and A-3.1 of the set of plans, as detailed below:
  - a) San Fernando Mission Boulevard: The total sign area for this frontage shall not exceed 229 square feet and shall be arranged in a manner so that the signage is distributed evenly throughout the building elevation. Window signage along this frontage shall not exceed 246.4 square feet or 40-percent of the total window area.
  - b) Hollister Street: The total sign area for this frontage shall not exceed 150 square feet and shall be arranged in a manner so that the signage is distributed evenly throughout the building elevation. Window signage along this frontage shall not exceed 244 square feet or 67-percent of the total window area.

- c) Elevation Facing Parking Lot at Rear of Property: The total sign area for this frontage shall not exceed 235 square feet and shall be arranged in a manner so that the signage is distributed evenly throughout the building elevation. Window signage along this frontage shall not exceed 243.2 square feet or 40-percent of the total window area.
17. Existing Pole Sign. The existing pole sign located within the landscape planter on the easterly corner of San Fernando Mission Boulevard and Hollister Street shall be removed in its entirety. A certificate of occupancy for the new building addition and associated site improvements shall not be issued until the pole sign is removed.
18. Directional Signage. Directional signage that is clearly visible, legible and unobstructed shall be installed within the on-site parking lot at 460 San Fernando Mission Boulevard and the off-site parking facility at 1136 Hollister Street. The directional signage shall inform all patrons of the business that the use of the crosswalk located at the intersection of San Fernando Mission Boulevard and Hollister Street is required to travel to and from the retail store.
19. Site Inspections. Prior to the issuance of a Certificate of Occupancy, the Community Development Department and Public Works Department shall inspect the site to assure compliance with these Conditions of Approval. Subsequent to occupancy, owners and all successors shall grant the right of access to authorized agents of the City of San Fernando to conduct periodic inspections of the property.
20. Modifications. Unless the Community Development Department approves a proposed change to the approved plans, all other modifications to the development plan, including these Conditions of Approval, shall require review and approval by the Planning and Preservation Commission.
21. Encroachment Permit. Under no circumstances shall any public right-of-way be obstructed during construction by materials, vehicles, equipment or other related objects without prior approval from the Public Works Department. An Encroachment Permit must be obtained from the Public Works Department prior to any demolition and/or new construction activity that would require staging and/or construction within the public right-of-way.
22. General Compliance. The applicant shall comply with all requirements of applicable federal, state, or local law, ordinance, or regulation.
23. Surface Runoff. All requirements of the National Pollutant Discharge Elimination System (NPDES) shall be complied with and an NPDES permit, including but not limited to the installation of any required clarifiers and/or on-site infiltration system, must be obtained prior to any occupation or use of the site. During construction, the project site shall comply with all applicable Best Management Practices (BMPs).
24. Construction Hours. Construction activity on Mondays through Saturdays shall comply with the current San Fernando City Code Section 34-28(10) standards for construction in commercial zones.
25. Acceptance. Within thirty (30) days of approval of Variance 2013-04 and Conditional Use Permit 2013-07, the property owner(s) or their duly authorized representatives shall certify the acceptance of the conditions of approval or modifications thereto by signing a statement using an acceptance

affidavit form provided by the Community Development Department that acknowledges acceptance and shall be bound by all of the conditions of project approval.

26. Recordation. Prior to the issuance of a Certificate of Occupancy, the applicant shall provide the Community Development Department with proof that the Conditions of Approval have been recorded with the Los Angeles Registrar Recorder/County Clerk's Office. Recordation of the Conditions of Approval shall occur on both 460 San Fernando Mission Boulevard and 1136 Hollister Street.
27. Expiration. Variance 2013-04 and Conditional Use Permit 2013-07 shall be subject to expiration and Site Plan Review 2013-07 shall become null and void unless exercised by submitting construction plans in application for a building permit within twelve (12) months of final approval or until such additional time as may be granted by the Community Development Department, upon receipt of a written request for an extension received prior to such expiration date. Subsequent failure to obtain and exercise an active building permit shall also cause expiration of the variance and site plan review approvals.

# CITY OF SAN FERNANDO



460 San Fernando Mission Blvd. San Fernando, CA. 91340

## DRAWING SCHEDULE

T-1	TITLE SHEET
R-1	RENDER PRESENTATION
A-1.0	EXISTING SITE PLAN
A-1.1	PROPOSED SITE PLAN
A-1.2	PARKING LOT SITE PLAN
A-2.0	FLOOR PLAN
A-3.0	ELEVATION
A-3.1	ELEVATION

PROJECT #116  
DATE PRINTED: 04/11/2013



#22

EXISTING RETAIL STORE  
9 STORE #22  
JOB TITLE: 460 SAN FERNANDO MISSION BLVD.  
SAN FERNANDO, CA. 91340

DESIGNED BY:  
ABIMAEEL G.  
DRAWN BY:  
EDGAR A.

SHEET

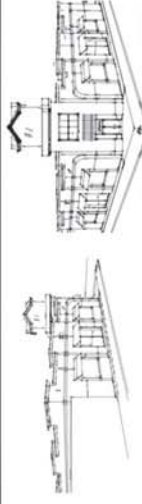
T-1



## RENDERS STORE #22



460 SAN FERNANDO MISSION CA.



## PERSPECTIVES







LOT AREA = 17,500 SQ.FT.

TOTAL BUILDING AREA: 10,013 SQ. FT.  
LOT COVERAGE: 9,801 SQ. FT.  
% OF LOT COVERED: 57.2%

EXISTING 6,171 SQ. FT. RETAIL STORE  
PROPOSED 3,842 SQ. FT. ADDITION

PROPERTY INFORMATION

SITE ADD. 460 SAN FERNANDO MISSION BLVD.  
SAN FERNANDO, CA. 91340

BUILDING DATA

USE:	RETAIL
OCCUPANCY:	M
CONSTRUCTION TYPE:	V-II
TOTAL BUILDING AREA:	9,853
NUMBER OF STORIES:	1
SPRINKLERED:	
REQUIRED # OF EXITS:	2
LANDSCAPING REQUIRED:	1,750 SQ.FT.
LANDSCAPING PROVIDED:	1,777 SQ.FT.

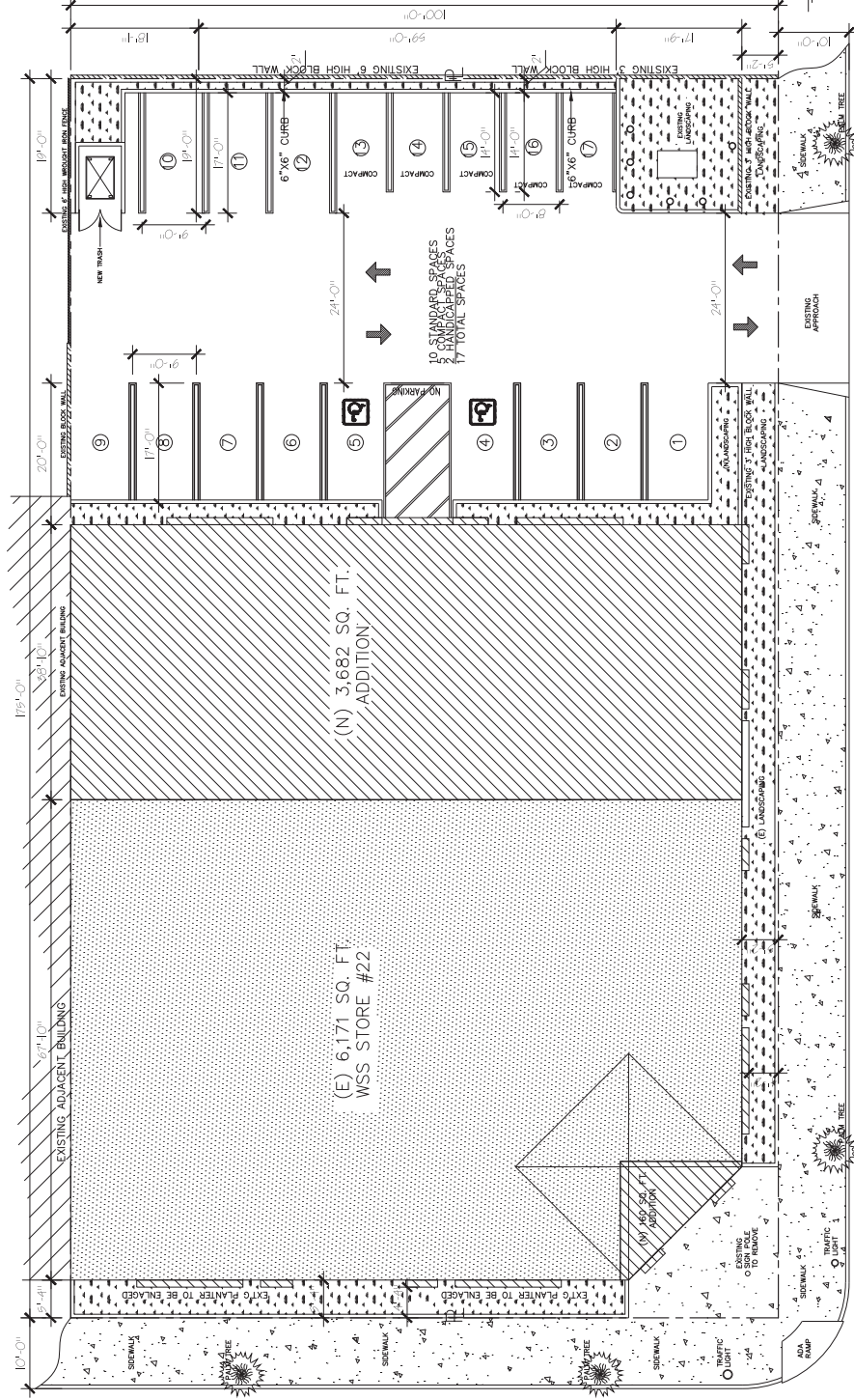
PARKING STALLS REQUIRED	33
PARKING STALLS PROVIDED	38
2 HANDICAP STALLS	
11 COMPACT STALLS	
25 STANDARD STALLS	

APPLICABLE CODES

2011 Los Angeles County Building Code  
2011 Los Angeles County Residential Code  
2011 Los Angeles County Energy Code  
2011 Los Angeles County Mechanical Code  
2011 Los Angeles County Electrical Code

SCOPE OF WORK

- EXISTING STORE TO BE EXPANDED
- PROPOSED 3,842 SQ. FT. ADDITION
- NEW PARKING LAYOUT & RESURFACE



HOLLISTER ST.

SITE PLAN

SCALE: 1/8" = 1'-0"



PROJECT #116  
DATE PRINTED August 5, 2013

#22

EXISTING RETAIL STORE  
STORE #22  
SAN FERNANDO, CA. 91340

DESIGNED BY:  
ABRAHAM G.  
DESIGN BY:  
EDGAR A.

SHEET  
A-1.1  
PROPOSED  
SITE PLAN



## PROPERTY INFORMATION

SITE ADD.NO ADDRESS

APN. 2521-028-016  
LOT SIZE: 5,000 SQ. FT.



SCALE: 1/8" = 1'-0"

PROJECT #116

DATE PRINTED: August 5, 2013

EXISTING RETAIL STORE  
STORE #22  
JOB TITLE: 460 SAN FERNANDO MISSION BLVD.  
SAN FERNANDO, CA. 91340

SHEET

# SITE PLAN







**CITY OF SAN FERNANDO PUBLIC WORKS DEPARTMENT  
DEVELOPMENT / IMPROVEMENT REVIEW CHECK LIST**

**PROJECT: SPR 2013-07**

**Commercial Development Addition (WSS Footwear) DATE: 6/25/13**

**PROJECT ADDRESS: 460 San Fernando Mission Blvd and 1136 Hollister St.**

ITEM	REQUIRED?		COMPLIED?	COMMENTS
	YES	NO		
1. Site plan must show:				
a. Existing building or structure	✓			
b. Existing public improvements (concrete sidewalk driveways, curbs and gutters, parkway trees, street lights, hydrants, etc.) including existing and proposed dimensions, square footage, etc.	✓			
c. Existing utilities (gas, sewer, water, storm drains, catch basins, power poles).	✓			
2. Submit offsite improvement plan.	✓			See #28.
3. Prior to issuance of building permit:				
a. Pay sewer capital facility charge.	✓			Based on 3,682 sf retail 3,682 sf x \$527*/1,000sf= <b>\$1,940.41</b>
b. Pay water capital facility charge.	✓			Upgrade from a 1" WM to a 2" WM \$5,262 - \$1,644 = <b>\$3,618</b>
c. Pay water service installation charge.	✓			Installation deposit** based on 2" WM= <b>\$1,897</b>
d. Pay fire service installation deposit.	✓			Minimum 4" F.S.: Capital Fee= <b>\$5,416*</b> Installation Deposit= <b>\$9,330*</b> <b>\$14,746*</b>
e. Pay fire hydrant installation deposit.		✓		
f. Pay plan check fee (Offsite).	✓			
g. Pay inspection fee (Offsite).	✓			
h. Provide labor and material bond.		✓		
i. Provide performance bond.		✓		
4. Is there existing sewer house connection to property?	✓			
5. Is there existing water service to the property?	✓			
6. Provide separate water service for each building or separate ownership.		✓		
7. Provide separate sewer connection for each building.		✓		
8. Underground all utilities to each unit/building.	✓			
9. Cap off existing sewer connection that will no longer be used.	✓			
10. Replace existing old and substandard water service.		✓		

**PROJECT ADDRESS:**     **460 San Fernando Mission Blvd and 1136 Hollister St.**

ITEM	REQUIRED?		COMPLIED?	COMMENTS
	YES	NO		
11.	Upgrade existing substandard hydrant to 6-inch wet barrel hydrant (4"X 2.5" outlet).		✓	
12.	Install new hydrant per City standard.		✓	
13.	Satisfy City of Los Angeles Fire Dept. fire flow requirements.	✓		
14.	Provide City approved backflow device for the domestic water service and/or landscape irrigation, and provide proof that said equipment has been tested by a certified tester.	✓		<i>Provide one backflow device for every water service (for City water protection). Provide additional backflow device for irrigation-landscaping (for domestic water protection).</i>
15.	Remove existing driveway approach that will no longer be used. Replace depressed curb.		✓	
16.	Construct PCC driveway approach 6-inch thick per City Standard.		✓	
17.	Construct wheel chair ramp per City Standard.		✓	
18.	Remove and replace broken/damaged , lifted, or deteriorated concrete sidewalk adjacent to property per the discretion of Public Works..	✓		<i>Remove and replace sidewalk on San Fernando Mission Blvd. Approximately 100 sf.</i>
19.	Remove and replace broken curb/gutter adjacent to property.		✓	
20.	Plant parkway trees per City Standard and City Master Tree Plan.		✓	
21.	Construct tree wells per City Standard with tree grates.		✓	
22.	A permit from the Public Works Dept. (Engineering Division) is required for all offsite improvements.	✓		
23.	All on-site pavement shall be minimum of 3-inch AC on 4 inch CAB or 6-inch PCC pavement without soil recommendation.	✓		
24.	Construct trash enclosure, nominal size 5 feet X 9 feet with PCC slab and 6-inch PCC curb with 6-inch PCC apron.	✓		<i>Construct trash enclosure with roof.</i>
25.	Verify that clarifier/grease trap intercepts effluent before entry into the sewer lateral.		✓	
26.	Federal NPDES Requirements			
a.	Submit SWPPP Owners's Certification (form OC1 attached) that incorporates construction BMP's in compliance with Federal NPDES.	✓		<i>See attached BMP's suggested for use during construction.</i>
b.	Provide a SUSMP that incorporates design elements and facility BMP's in compliance with Federal NPDES.		✓	
27.	Comply with all applicable existing conditions of approval for the proposed development.	✓		



**PROJECT ADDRESS:**     460 San Fernando Mission Blvd and 1136 Hollister St.

ITEM	REQUIRED?		COMPLIED?	COMMENTS
	YES	NO		
28.	Additional requirements: *Sewer & Water Capital/Installation fees are subject to change. The latest fee will be assessed prior to sign off for building permit.			
	<ul style="list-style-type: none"><li>• Include <b>off site improvements</b> with <b>quantities</b> and <b>cost estimate</b>.</li><li>• Submit <b>drainage plan &amp; grading plan</b>. A <b>paving plan</b> could substitute the grading plan. Provide on-site drainage.</li><li>• Submit <b>utility plan</b> showing all existing utilities and any proposed relocations/realignments. Also show any proposed relocation of water service, water meter, and fire hydrant.</li><li>• Any unused utilities should be removed.</li><li>• Satisfy NPDES.</li></ul>			

  
PUBLIC WORKS DEPARTMENT

6/25/17  
DATE

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**ATTACHMENT 2:**

**Conditional Use Permit, Variance, and  
Site Plan Review Applications**

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Conditional Use Permit Application

PROJECT INFORMATION

Site Address(es) <u>460 Mission Blvd</u>	
Assessors Parcel Number(s) 'APN' <u>2521 -029-037</u>	
Lot Size <u>17,500 SQ. FT.</u>	Existing Building (Square Footage) <u>6171 SQ. FT.</u>
Proposed Addition (Square Footage) <u>3,842 SQ. FT.</u>	Total Parking Spaces (On-site/Off-site) <u>38</u>
Proposed Use(s) <u>RETAIL</u>	Landscaping (Square Footage) <u>1777 SQ. FT.</u>
Project Description/Type of Conditional Use Permit Request (Include any additional information on separate sheet and attach to the back of this application.) <u>Request for Increased Sign Area on Building as part of Sign Program.</u>	

APPLICANT INFORMATION

Applicant Name <u>WILLIAM ABUQUETA</u>		Phone Number <u>310-715-9300</u>
Mailing Address <u>13425 S. FIGUEROA STREET. LOS ANGELES, CA 90061</u>		
Fax Number	Email Address	Signature <u>[Signature]</u>

PROPERTY OWNER INFORMATION

Applicant Name <u>ALON REALTY</u>		Phone Number <u>310-715-9300</u>
Mailing Address <u>13425 S. FIGUEROA STREET. LOS ANGELES, CA 90061</u>		
Fax Number	Email Address	Signature <u>[Signature]</u>

For Office Use Only

CUP Application \$3,005.00	Zone <u>C-1</u>	General Plan Area <u>COM</u>	File Number
AIMS Surcharge \$ 300.50	Date Filed <u>7/25/2013</u>		CUP No. <u>2013-07</u>
Environmental \$ 204.00	Accepted By <u>E. Arroyo</u>		AIMS No. <u>PL1302048</u>
Notification \$ 120.00			Cross Reference
Publishing \$ 600.00			SPR No. <u>2013-07</u>
Total Fee \$4,229.50			VAR No. <u>2013-04</u>
Comments			OTHER

Variance Application

PROJECT INFORMATION

Site Address(es) <u>460 MISSION BLVD &amp; 1136 HOLISTER ST.</u>	
Assessors Parcel Number(s) 'APN' <u>2521-029-037 &amp; 2521-028-009 AND 016</u>	
Lot Size <u>17,500 SQ. FT.</u>	Existing Building (Square Footage) <u>6171 SQ. FT.</u>
Proposed Addition (Square Footage) <u>3,842 SQ. FT.</u>	Total Parking Spaces (On-site/Off-site) <u>38</u>
Proposed Use(s) <u>RETAIL</u>	Landscaping (Square Footage) <u>1777 SQ. FT.</u>
Project Description/Type of Variance Request (Include any additional information on separate sheet and attach to the back of this application.) <u>Request for Reduced Front &amp; Side Setbacks for Building and allow off-site Parking lot.</u>	

APPLICANT INFORMATION

Applicant Name <u>WILLIAM ARQUETA</u>		Phone Number <u>310-715-9300</u>
Mailing Address <u>13425 S. FIGUEROA STREET. LOS ANGELES, CA 90061</u>		
Fax Number	Email Address	Signature <u>X [Signature]</u>

PROPERTY OWNER INFORMATION

Applicant Name <u>ALON REALTY LLC</u>		Phone Number <u>310-715-9300</u>
Mailing Address <u>13425 S. FIGUEROA STREET. LOS ANGELES, CA 90061</u>		
Fax Number	Email Address	Signature <u>X [Signature]</u>

For Office Use Only

VAR Application \$2,567.00	Zone <u>C-1 / R-2</u>	General Plan Area <u>COM / MDR</u>	File Number
AIMS Surcharge \$ 256.70	Date Filed <u>7/25/2013</u>		VAR No. <u>2013-04</u>
Environmental \$ 204.00	Accepted By <u>E. Arroyo</u>		AIMS No. <u>PL1302049</u>
Notification \$ 120.00			Cross Reference
Publishing \$ 600.00			SPR No. <u>2013-07</u>
Total Fee \$3,747.70			CUP No. <u>2013-07</u>
Comments			OTHER





117 Macneil Street San Fernando, CA 91340 · (818) 898-1227 · Fax: (818) 898-7329

**SITE PLAN REVIEW APPLICATION**

**Applicant** William Azueta

(Please type or print)

**Site Address** 460 MISSION BLVD

**Request (What is being applied for):** ADDITION OF 3682 SQ.FT.  
TO EXISTING COMMERCIAL BUILDING, WITH OFF-SITE  
PARKING FACILITY

**Assessor's Parcel Number (APN)** 2521-029-037 / 2521-026-009 (OFF-SITE PARKING)  
2521-028-016 (OFF-SITE PARKING)

**Property Size (In square feet)** 17500 SQ.FT. / 10,000 SQ.FT. (OFF-SITE PARKING)

**Building Size** 6171 SQ.FT.

**Building Addition (If any)** ~~3682 SQ.FT.~~ 3,842 #

**Parking Available (Number)** ~~38~~ 17 ON-SITE / 21 OFF-SITE

**Landscaping Provided (In square feet)** 1777 SQ.FT.

**Applicant's Signature** [Signature]

310-715-9300

**Applicant Telephone Number**

**Applicant Mailing Address:**

13425 S. FIGUEROA ST  
LOS ANGELES, CA 90061

**Fax Number:** \_\_\_\_\_

**Email Address:** W.Azueta@wss-footwear.com

**Property Owner's Signature** [Signature]

ALON RENTY LLC.

**Property Owner's Name (type or print)**

310-715-9300

**Property Owner's Telephone No.**

**Owner Mailing Address:**

13425 S. FIGUEROA ST  
LOS ANGELES, CA 90061

**OFFICE USE ONLY**

Date filed: 5/23/2013

Accepted by: E. Arango

Case Number: SPR 2013-07

Zoning: C-1 GPA: COM

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**ATTACHMENT 3:**

**Zoning Map**

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**PROJECT SITE**  
460 San Fernando Mission Blvd  
APN: 2521-029-037  
Lot Size: 17,500  
Existing Building: 6,171 Sq.Ft.

**OFF-SITE PARKING FACILITY**  
1136 Hollister Street  
APNs: 2521-028-009 and 016  
Lot Size: 10,000 Sq.Ft.

**ZONING MAP**  
**460 San Fernando Mission Boulevard and 1136 Hollister Street**



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**ATTACHMENT 4:**

**Vicinity Map**

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Double-Sided Printing





**PROJECT SITE**

460 San Fernando Mission Blvd

APN: 2521-029-037

Lot Size: 17,500

Existing Building: 6,171 Sq.Ft.

**OFF-SITE PARKING**

**FACILITY**

1136 Hollister Street

APNs: 2521-028-009 and 016

Lot Size: 10,000 Sq.Ft.

**VICINITY MAP**

**460 San Fernando Mission Boulevard and 1136 Hollister Street**



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**ATTACHMENT 5:**

**Notice of Public Hearing**

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NOTICE OF A  
PUBLIC HEARING

THE CITY OF SAN FERNANDO PLANNING AND PRESERVATION COMMISSION

A public hearing on this matter and associated potential environmental impacts, if any, will be conducted by the City of San Fernando Planning and Preservation Commission on:

**DATE:** Tuesday, August 20, 2013

**TIME:** 7:00 p.m.

**HEARING LOCATION:** City Hall Council Chambers, 117 Macneil Street, San Fernando, CA 91340

**PROJECT LOCATION:** 460 San Fernando Mission Boulevard and 1136 Hollister Street, San Fernando, CA 91340 (Los Angeles County Assessor's Parcel Nos.: 2521-028-009 and 2521-028-016, and 2521-029-037)

**APPLICATION:** Variance 2013-04 and Conditional Use Permit 2013-07 (RE: Site Plan Review 2013-07)

**PROJECT PROPONENT:** William Argueta, WSS, 13425 South Figueroa Street, Los Angeles, CA 90061

**PROJECT DESCRIPTION:**

The proposed project is a request for review and approval of variance and conditional use permit (CUP) applications to allow for the construction of a 3,842-square-foot addition to an existing 6,171-square-foot commercial building with reduced front and side setbacks, an off-site parking facility, and additional signage requested as part of a sign program. The project site at 460 San Fernando Mission Boulevard is an approximate 17,500-square-foot lot located on the easterly corner of San Fernando Mission Boulevard and Hollister Street, within the C-1 (Limited Commercial) zone. The site of the planned off-site parking facility at 1136 Hollister Street is an approximate 10,000-square-foot lot located on the southwesterly portion of the 1100 block of Hollister Street, between San Fernando Mission Boulevard and South Maclay Avenue, within the R-2 (Multiple Family Residential) zone.

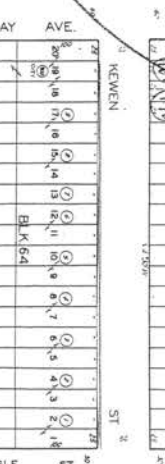
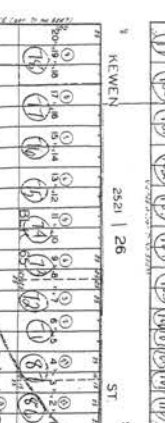
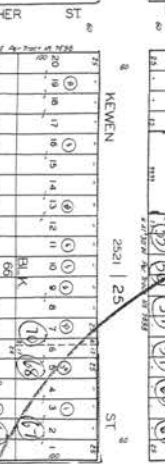
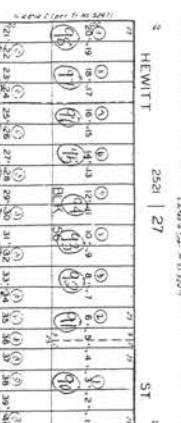
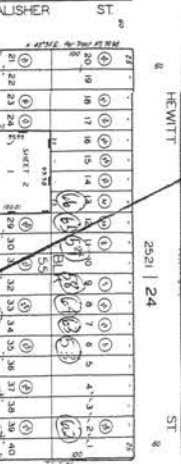
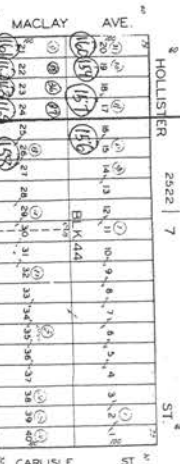
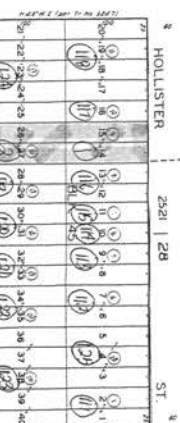
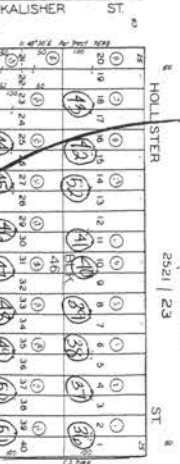
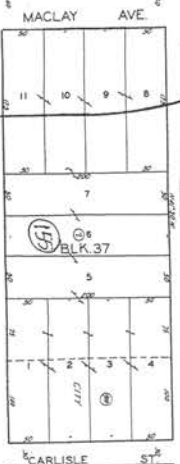
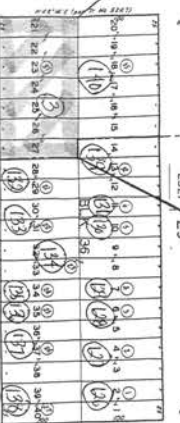
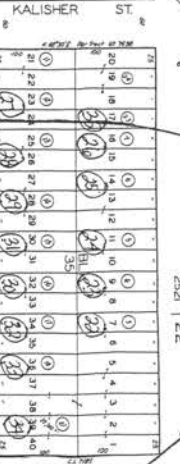
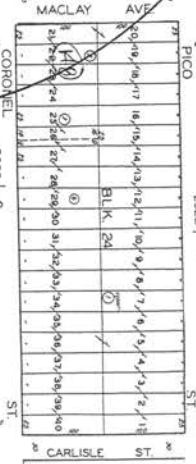
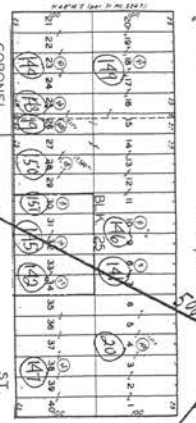
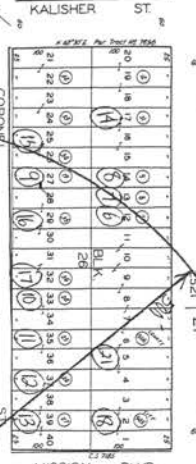
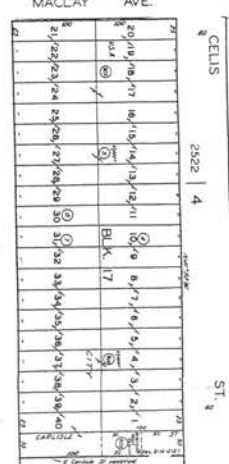
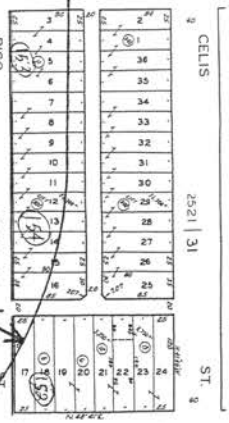
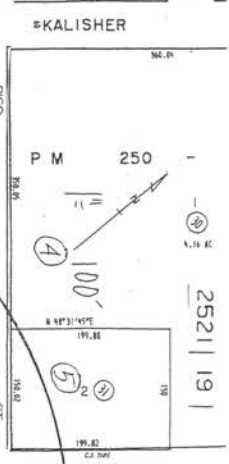
The requested variances would allow for the development proposed addition to the existing commercial building at 460 San Fernando Mission Boulevard with a front setback of four feet and four inches, a side setback of four feet and three inches, and the use of an off-site parking facility at 1136 Hollister Street. These setbacks would be provided in lieu of the required 10-foot front setback and five-foot side setback. A total of 38 parking spaces would be provided for the project, with 17 spaces available at 460 San Fernando Road and 21 spaces provided at off-site at 1136 Hollister Street. In addition, the requested CUP would allow for the current tenant, WSS, to renovate and increase the amount of signage as part of a sign program pursuant to City Code Sections 106-145 and 106-933(7)(c). In total, the requested CUP would allow for 234.59 square feet of signage on the building's front elevation facing San Fernando Mission Boulevard, 139.67 square feet of signage on the building's side elevation facing Hollister Street, and 232.9 square feet of signage on the building elevation facing the parking lot at the rear of the subject property. Additionally, window graphic signage would also be installed on the building, with 236 square feet of window signage along San Fernando Mission Boulevard and Hollister Street and 154 square feet of window signage facing the parking lot at the rear of the subject property. The requested building mounted signage requested as part of the CUP would allow the applicant to exceed the maximum 150 square feet of signage generally permitted along the San Fernando Mission elevation and elevation facing the parking lot at the rear.

This project has been reviewed for compliance with the California Environmental Quality Act (CEQA). Based on that assessment, the project has been determined to be Categorically Exempt under Class 32 (In-fill Development Projects) of the City's adopted local CEQA Guidelines.

**If you wish to challenge the action taken on this matter in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City of San Fernando at, or prior to, the public hearing.**

For further information regarding this proposal, please contact Edgar Arroyo, Assistant Planner, at (818) 837-1540 or by written correspondence to: City of San Fernando, Community Development Department, 117 Macneil Street, San Fernando, CA 91340-2993.

**FRED RAMIREZ,**  
City Planner



DO NOT WRITE IN THESE SPACES  
DATE: 11-21-2012  
ANALYST: CA 92807  
1707/17251

# (DAILY NEWS) NOTICE OF A PUBLIC HEARING THE CITY OF SAN FERNANDO PLANNING AND PRESERVATION COMMISSION A...

**Source: Los Angeles Daily News**

**Category: Legal & Public Notices**

<http://dailynews.kaango.com/ads/view?adid=22316728>

## Ad Details:

Ad ID:	22316728
Created:	Aug 10, 2013
Expires:	Aug 17, 2013

(DAILY NEWS) NOTICE OF A PUBLIC HEARING THE CITY OF SAN FERNANDO PLANNING AND PRESERVATION COMMISSION A public hearing on this matter and associated potential environmental impacts, if any, will be conducted by the City of San Fernando Planning and Preservation Commission on: DATE: Tuesday, August 20, 2013 TIME: 7:00 p.m. HEARING LOCATION: City Hall Council Chambers, 117 Macneil Street, San Fernando, CA 91340 PROJECT LOCATION: 460 San Fernando Mission Boulevard and 1136 Hollister Street, San Fernando, CA 91340 (Los Angeles County Assessor's Parcel Nos.: 2521-028-009 and 2521-028-016, and 2521-029-037) APPLICATION: Variance 2013-04 and Conditional Use Permit 2013-07 (RE: Site Plan Review 2013-07) PROJECT PROPONENT: William Argueta, WSS, 13425 South Figueroa Street, Los Angeles, CA 90061 PROJECT DESCRIPTION: The proposed project is a request for review and approval of variance and conditional use permit (CUP) applications to allow for the construction of a 3,842-square-foot addition to an existing 6,171-square-foot commercial building with reduced front and side setbacks, an off-site parking facility, and additional signage requested as part of a sign program. The project site at 460 San Fernando Mission Boulevard is an approximate 17,500-square-foot lot located on the easterly corner of San Fernando Mission Boulevard and Hollister Street, within the C-1 (Limited Commercial) zone. The site of the planned off-site parking facility at 1136 Hollister Street is an approximate 10,000-square-foot lot located on the southwesterly portion of the 1100 block of Hollister Street, between San Fernando Mission Boulevard and South Maclay Avenue, within the R-2 (Multiple Family Residential) zone. The requested variances would allow for the development proposed addition to the existing commercial building at 460 San Fernando Mission Boulevard with a front setback of four feet and four inches, a side setback of four feet and three inches, and the use of an off-site parking facility at 1136 Hollister Street. These setbacks would be provided in lieu of the required 10-foot front setback and five-foot side setback. A total of 38 parking spaces would be provided for the project, with 17 spaces available at 460 San Fernando Road and 21 spaces provided at off-site at 1136 Hollister Street. In addition, the requested CUP would allow for the current tenant, WSS, to renovate and increase the amount of signage as part of a sign program pursuant to City Code Sections 106-145 and 106-933(7)(c). In total, the requested CUP would allow for 234.59 square feet of signage on the building's front elevation facing San Fernando Mission Boulevard, 139.67 square feet of signage on the building's side elevation facing Hollister Street, and 232.9 square feet of signage on the building elevation facing the parking lot at the rear of the subject property. Additionally, window graphic signage would also be installed on the building, with 236 square feet of window signage along San Fernando Mission Boulevard and Hollister Street and 154 square feet of window signage facing the parking lot at the rear of the subject property. The requested building mounted signage requested as part of the CUP would allow the applicant to exceed the maximum 150 square feet of signage generally permitted along the San Fernando Mission elevation and elevation facing the parking lot at the rear. This project has been reviewed for compliance with the California Environmental Quality Act (CEQA). Based on that assessment, the project has been determined to be Categorically Exempt under Class 32 (In-fill Development Projects) of the City's adopted local CEQA Guidelines. If you wish to challenge the action taken on this matter in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City of San Fernando at, or prior to, the public hearing. For further information regarding this proposal, please contact Edgar Arroyo, Assistant Planner, at (818) 837-1540 or by written correspondence to: City of San Fernando, Community Development Department, 117 Macneil Street, San Fernando, CA 91340-2993. FRED RAMIREZ, City Planner Publish August 10, 2013

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**ATTACHMENT 6:**

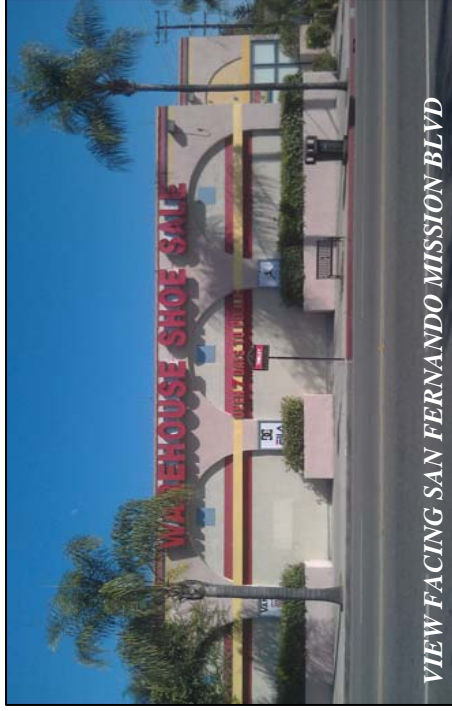
**Project Site Photos**

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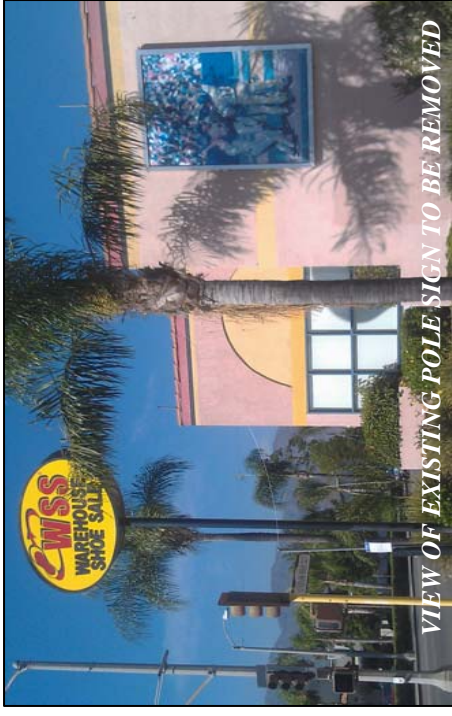




CORNER OF SAN FERNANDO MISSION BOULEVARD  
AND HOLLISTER STREET



VIEW FACING SAN FERNANDO MISSION BLVD



VIEW OF EXISTING POLE SIGN TO BE REMOVED



VIEW FACING HOLLISTER STREET



OFF-SITE PARKING FACILITY – HOLLISTER ST VIEW



OFF-SITE PARKING FACILITY – HEWITT ST VIEW

## SITE PHOTOS

460 San Fernando  
Mission Boulevard

&

1336 Hollister Street



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**ATTACHMENT 7:**

**Site Plan, Floor Plan, Elevations,  
and Building Renderings**

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CITY OF SAN FERNANDO



460 San Fernando Mission Blvd. San Fernando, CA. 91340

DRAWING SCHEDULE

T-1	TITLE SHEET
R-1	RENDER PRESENTATION
A-1.0	EXISTING SITE PLAN
A-1.1	PROPOSED SITE PLAN
A-1.2	PARKING LOT SITE PLAN
A-2.0	FLOOR PLAN
A-3.0	ELEVATION
A-3.1	ELE VATION

PROJECT #116

DATE PRINTED: April 11, 2013

Tel (310) 345-4087  
Tel (310) 715-6000 EXT. 1388  
agorres@wss-holdings.com



13425 S. FUELOA ST. LOS ANGELES, CA. 90061

#22

EXISTING RETAIL STORE  
9 STORE #22

JOB TITLE: 460 SAN FERNANDO MISSION BLVD.  
SAN FERNANDO, CA. 91340

DESIGNED BY:  
ABIMAEL G.

DRAWN BY:  
EDGAR A.

SHEET

T-1

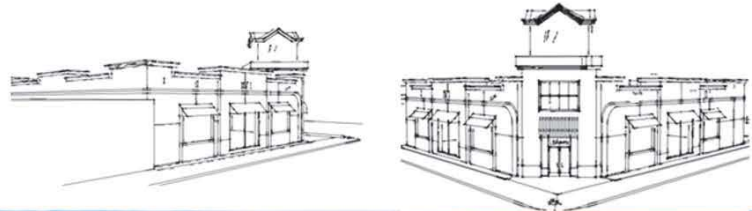


WRITTEN DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK. WRITTEN DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK. WRITTEN DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK. WRITTEN DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK. WRITTEN DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK.

RENDERS STORE #22

460 SAN FERNANDO MISSION CA.

PROJECT #---  
DATE PRINTED: April 11, 2013



13425 S FLEETWOOD ST. LOS ANGELES, CA 90081  
Tel: (310) 345-4087  
Fax: (310) 715-0009 EXT. 1368  
wss@wssretail.com



#22

NEW RETAIL STORE  
STORE #22  
JOB TITLE: 460 SAN FERNANDO MISSION CA.

DESIGNED BY:  
ABIMAEI G.  
DRAWN BY:  
EDGAR A.

SHEET

R.

WRITTEN DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK. WRITTEN DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK. WRITTEN DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK. WRITTEN DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK. WRITTEN DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK.





(E)PLOT PLAN  
SCALE: 1/8" = 1'-0"

EXISTING RETAIL STORE  
STORE #22  
AN FERNANDO MISSION BLVD.  
FERNANDO, CA. 91340

JOB TITLE: 460 SAN FERNANDO MISSION BLVD.  
SAN FERNANDO, CA. 91340

DESIGNED BY:  
ABIMAE L. G.

DRAWN BY:  
EDGAR A.

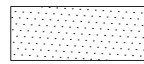
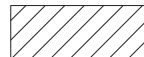
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(E)SITE PLAN

LOT AREA = 17,500 SQ.FT.

TOTAL BUILDING AREA: 10,013 SQ. FT.  
LOT COVERAGE: 9,801 SQ. FT.  
% OF LOT COVERED: 57.2%

-  EXISTING 6,171 SQ. FT. RETAIL STORE
-  PROPOSED 3,842 SQ. FT. ADDITION

PROPERTY INFORMATION

SITE ADD. 460 SAN FERNANDO MISSION BLVD.  
SAN FERNANDO, CA. 91340

BUILDING DATA

USE:	RETAIL
OCCUPANCY:	M
CONSTRUCTION TYPE:	V-II
TOTAL BUILDING AREA: 9,853	
NUMBER OF STORIES:	1
SPRINKLERED:	
REQUIRED # OF EXITS: 2	

LANDSCAPING REQUIRED 1,750 SQ.FT.	
LANDSCAPING PROVIDED 1,777 SQ.FT.	

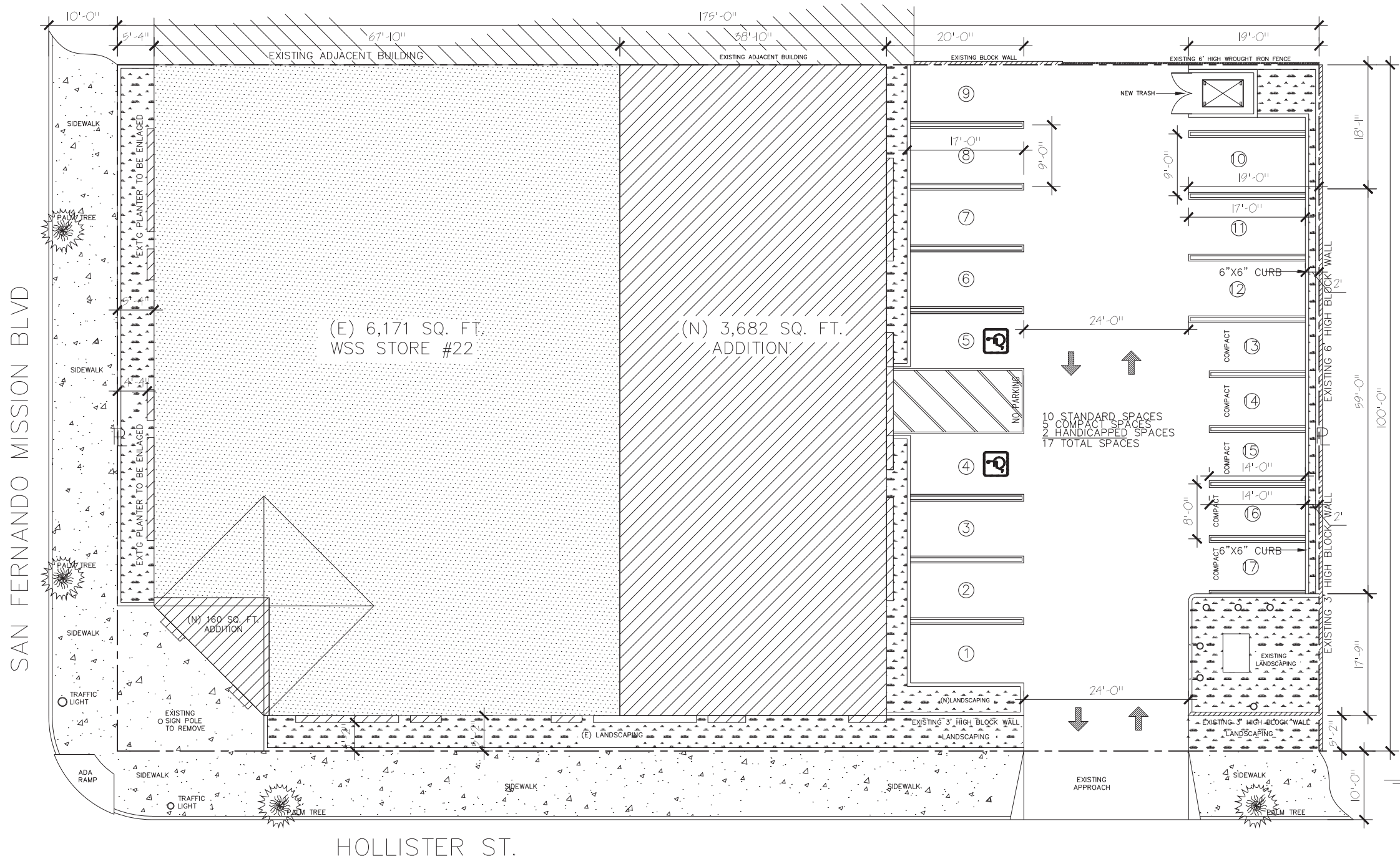
PARKING STALLS REQUIRED	33
PARKING STALLS PROVIDED	38
2 HANDICAP STALLS	
11 COMPACT STALLS	
25 STANDARDS STALLS	

APPLICABLE CODES

2011 Los Angeles County Building Code  
2011 Los Angeles County Residential Code  
2011 Los Angeles County Energy Code  
2011 Los Angeles County Mechanical Code  
2011 Los Angeles County Electrical Code

SCOPE OF WORK

- EXISTING STORE TO BE EXPANDED
- PROPOSED 3,842 SQ. FT. ADDITION
- NEW PARKING LAYOUT & RESURFACE



SITE PLAN

SCALE : 1/8" = 1'-0"



PROJECT #116

DATE PRINTED: August 5, 2013

TEL (818) 245-4837  
FAX (818) 215-5008 EXT. 1008  
agomez@wss-footwear.com

13425 S FIFTH ST. LOS ANGELES, CA. 90061

#22

EXISTING RETAIL STORE  
STORE #22

JOB TITLE: 460 SAN FERNANDO MISSION BLVD.  
SAN FERNANDO, CA. 91340

DESIGNED BY:  
ABIMAE G.

DRAWN BY:  
EDGAR A.

SHEET

A-1.1  
PROPOSED  
SITE PLAN



WRITTEN DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK.

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REV. 4.3  
8-05-13

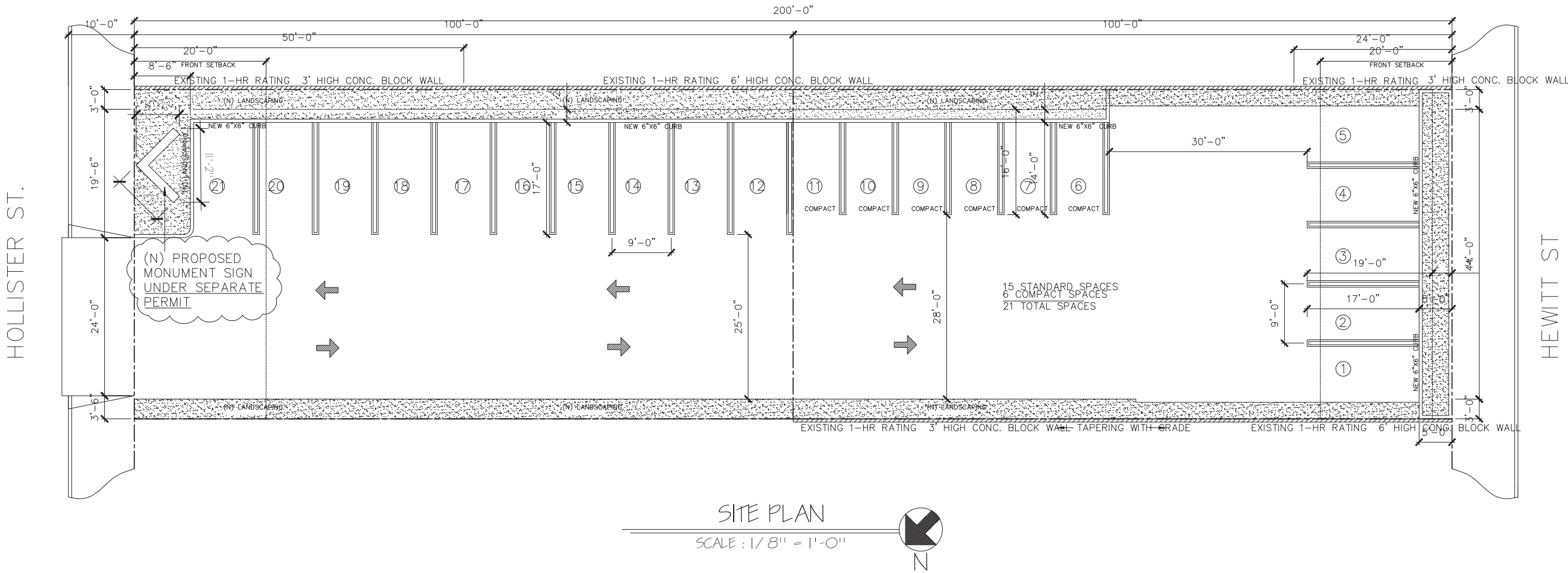
PROPERTY INFORMATION

SITE ADD. 1136 HOLLISTER ST.  
SAN FERNANDO, CA. 91340  
APN. 2521-028-009  
LOT SIZE: 5,000 SQ. FT.

LANDSCAPING REQUIRED 1,000 SQ.FT.  
LANDSCAPING PROVIDED 1,375 SQ.FT.

PROPERTY INFORMATION

SITE ADD.NO ADDRESS  
APN. 2521-028-016  
LOT SIZE: 5,000 SQ. FT.



PROJECT #116  
DATE PRINTED: August 5, 2013

#22

EXISTING RETAIL STORE  
STORE #22

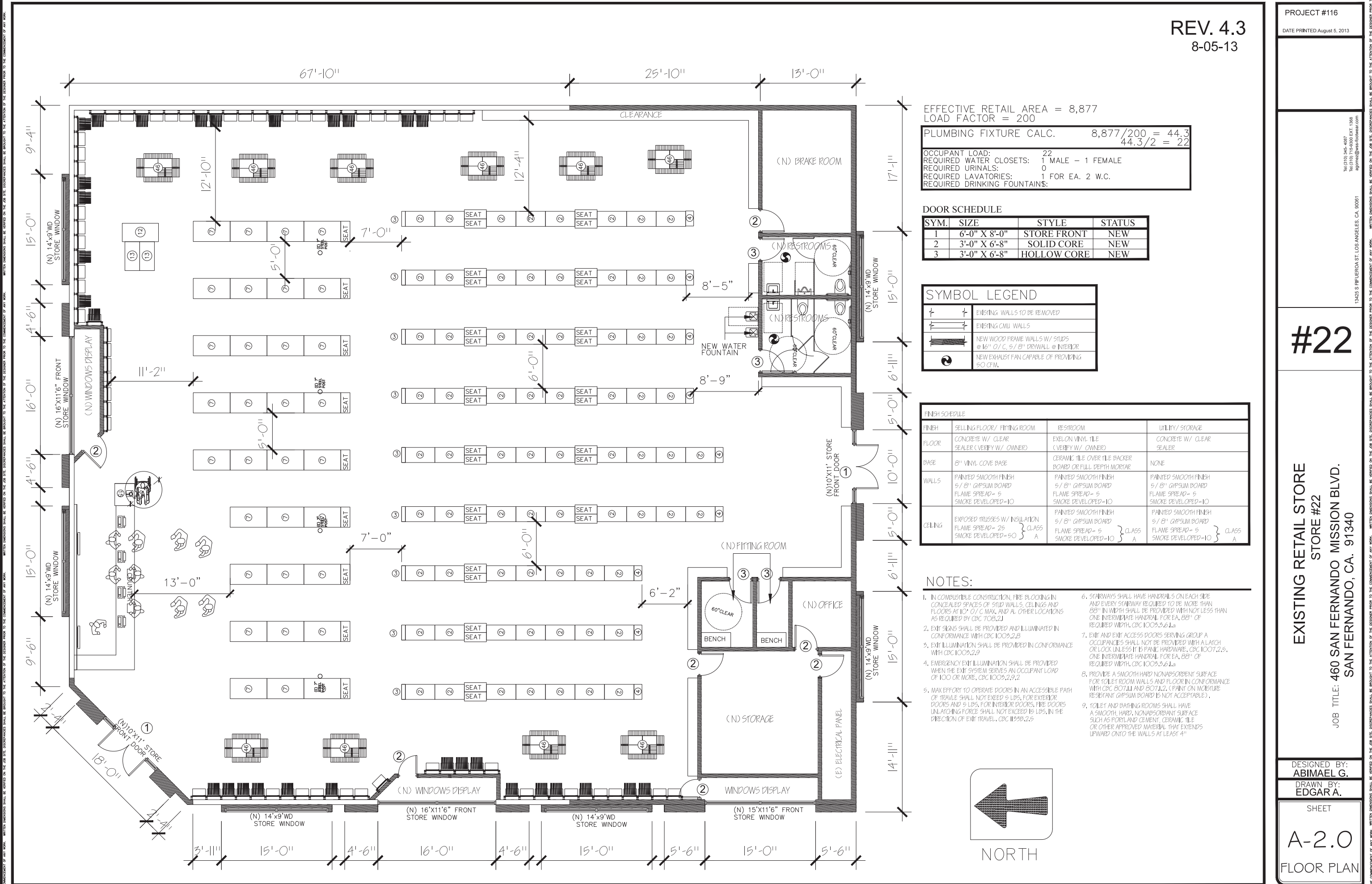
JOB TITLE: 460 SAN FERNANDO MISSION BLVD.  
SAN FERNANDO, CA. 91340

DESIGNED BY:  
ABIMAEEL G.  
DRAWN BY:  
EDGAR A.

SHEET  
A-1.2  
SITE PLAN

13425 S FLETERA ST. LOS ANGELES, CA. 90081  
TEL (310) 345-4087  
WWW.ABIMAEEL.COM  
ABIMAEEL@ABIMAEEL.COM

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REV. 4.3  
8-05-13

EFFECTIVE RETAIL AREA = 8,877  
LOAD FACTOR = 200

PLUMBING FIXTURE CALC.  $8,877/200 = 44.3$   
 $44.3/2 = 22$

OCCUPANT LOAD: 22  
REQUIRED WATER CLOSETS: 1 MALE - 1 FEMALE  
REQUIRED URINALS: 0  
REQUIRED LAVATORIES: 1 FOR EA. 2 W.C.  
REQUIRED DRINKING FOUNTAINS:

DOOR SCHEDULE

SYM.	SIZE	STYLE	STATUS
1	6'-0" X 8'-0"	STORE FRONT	NEW
2	3'-0" X 6'-8"	SOLID CORE	NEW
3	3'-0" X 6'-8"	HOLLOW CORE	NEW

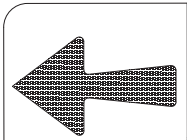
SYMBOL LEGEND

	EXISTING WALLS TO BE REMOVED
	EXISTING CMU WALLS
	NEW WOOD FRAME WALLS W/ STUDS @ 16" O/C, 5/8" DRYWALL @ INTERIOR
	NEW EXHAUST FAN CAPABLE OF PROVIDING 50 CFM

FINISH SCHEDULE

FINISH	SELLING FLOOR/ FITTING ROOM	RESTROOM	UTILITY/ STORAGE
FLOOR	CONCRETE W/ CLEAR SEALER (VERIFY W/ OWNER)	EXCELON VINYL TILE (VERIFY W/ OWNER)	CONCRETE W/ CLEAR SEALER
BASE	8" VINYL COVE BASE	CERAMIC TILE OVER TILE BACKER BOARD OR FULL DEPTH MORTAR	NONE
WALLS	PAINTED SMOOTH FINISH 5/8" GYPSUM BOARD PLANE SPREAD= 5 SMOKE DEVELOPED=10	PAINTED SMOOTH FINISH 5/8" GYPSUM BOARD PLANE SPREAD= 5 SMOKE DEVELOPED=10	PAINTED SMOOTH FINISH 5/8" GYPSUM BOARD PLANE SPREAD= 5 SMOKE DEVELOPED=10
CEILING	EXPOSED TRUSSES W/ INSULATION PLANE SPREAD= 25 SMOKE DEVELOPED=50 } CLASS A	PAINTED SMOOTH FINISH 5/8" GYPSUM BOARD PLANE SPREAD= 5 SMOKE DEVELOPED=10 } CLASS A	PAINTED SMOOTH FINISH 5/8" GYPSUM BOARD PLANE SPREAD= 5 SMOKE DEVELOPED=10 } CLASS A

- NOTES:
- IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING IN CONCEALED SPACES OF STUD WALLS, CEILING AND FLOORS AT 10' O/C MAX. AND AT OTHER LOCATIONS AS REQUIRED BY CBC 703.2.1
  - EXIT SIGNS SHALL BE PROVIDED AND ILLUMINATED IN CONFORMANCE WITH CBC 1003.2.8
  - EXIT ILLUMINATION SHALL BE PROVIDED IN CONFORMANCE WITH CBC 1003.2.9
  - EMERGENCY EXIT ILLUMINATION SHALL BE PROVIDED WHEN THE EXIT SYSTEM SERVES AN OCCUPANT LOAD OF 100 OR MORE, CBC 1003.2.9.2
  - MAX EFFORT TO OPERATE DOORS IN AN ACCESSIBLE PATH OF TRAVEL SHALL NOT EXCEED 5 LBS. FOR EXTERIOR DOORS AND 5 LBS. FOR INTERIOR DOORS. FIRE DOORS UNLATCHING FORCE SHALL NOT EXCEED 15 LBS. IN THE DIRECTION OF EXIT TRAVEL. CBC 11333.2.5
  - STAIRWAYS SHALL HAVE HANDRAILS ON EACH SIDE AND EVERY STAIRWAY REQUIRED TO BE MORE THAN 88" IN WIDTH SHALL BE PROVIDED WITH NOT LESS THAN ONE INTERMEDIATE HANDRAIL FOR EA. 88" OF REQUIRED WIDTH, CBC 1003.5.6.1.a
  - EXIT AND EXIT ACCESS DOORS SERVING GROUP A OCCUPANCIES SHALL NOT BE PROVIDED WITH A LATCH OR LOCK UNLESS IT IS PANIC HARDWARE, CBC 1007.2.5. ONE INTERMEDIATE HANDRAIL FOR EA. 88" OF REQUIRED WIDTH, CBC 1003.5.6.1.a
  - PROVIDE A SMOOTH HARD NONABSORBENT SURFACE FOR TOILET ROOM WALLS AND FLOOR IN CONFORMANCE WITH CBC 807.1.1 AND 807.1.2. (PAINT ON MOISTURE RESISTANT GYPSUM BOARD IS NOT ACCEPTABLE).
  - TOILET AND BATHING ROOMS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE SUCH AS PORTLAND CEMENT, CERAMIC TILE OR OTHER APPROVED MATERIAL THAT EXTENDS UPWARD ONTO THE WALLS AT LEAST 4"



NORTH

PROJECT #116

DATE PRINTED August 5, 2013

TEL (310) 345-4897  
TEL (310) 715-9008 EXT. 1368  
agomez@wss-footwear.com

13425 S FIJEROSA ST. LOS ANGELES, CA 90061

#22

EXISTING RETAIL STORE  
STORE #22  
JOB TITLE: 460 SAN FERNANDO MISSION BLVD.  
SAN FERNANDO, CA. 91340

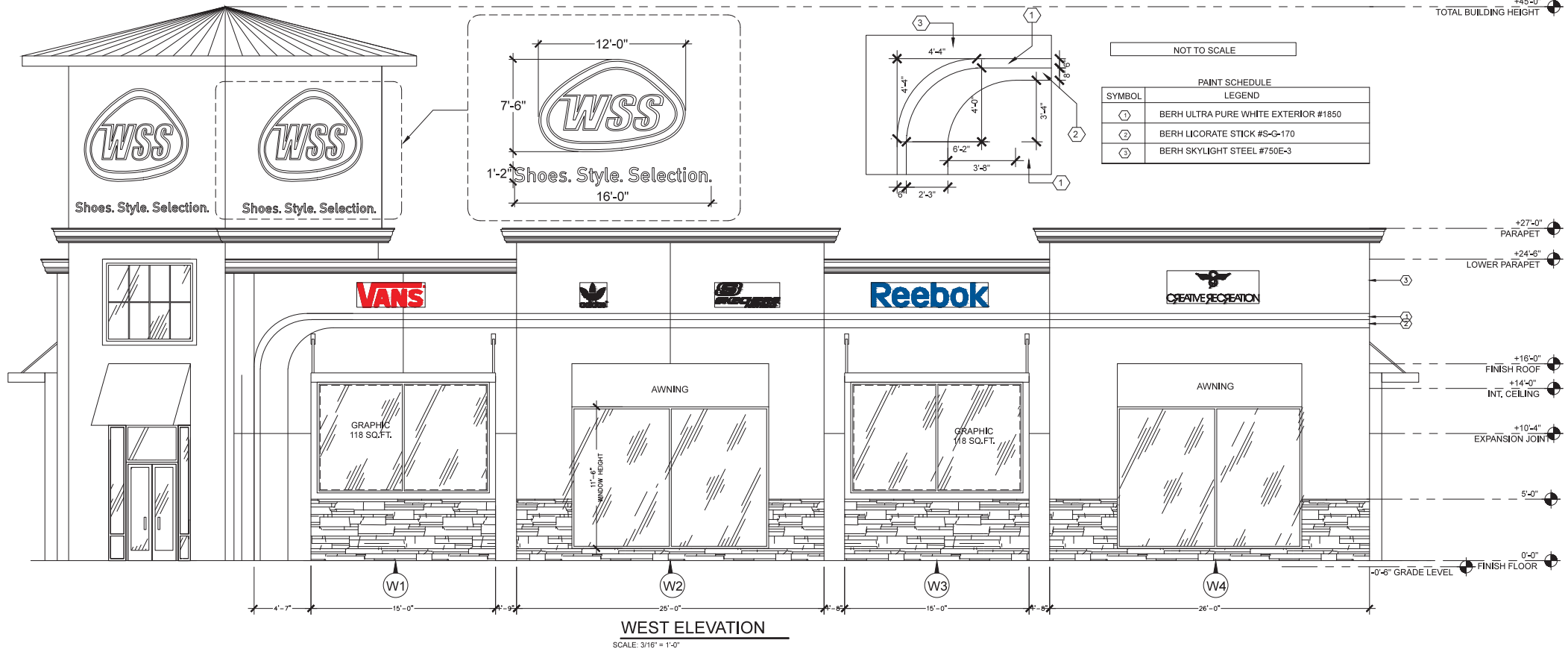
DESIGNED BY:  
ABIMAEEL G.  
DRAWN BY:  
EDGAR A.

SHEET

A-2.0  
FLOOR PLAN

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PAINT SCHEDULE	
SYMBOL	LEGEND
①	BERH ULTRA PURE WHITE EXTERIOR #1850
②	BERH LICORATE STICK #S-G-170
③	BERH SKYLIGHT STEEL #750E-3

PROJECT #116

DATE PRINTED: August 5, 2013

13425 S FIJEROA ST. LOS ANGELES, CA 90061  
TEL (310) 945-4897  
TEL (310) 715-0388 EXT. 1988  
agoniez@wes-footwear.com

#22

EXISTING RETAIL STORE  
STORE #22  
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SAN FERNANDO, CA. 91340

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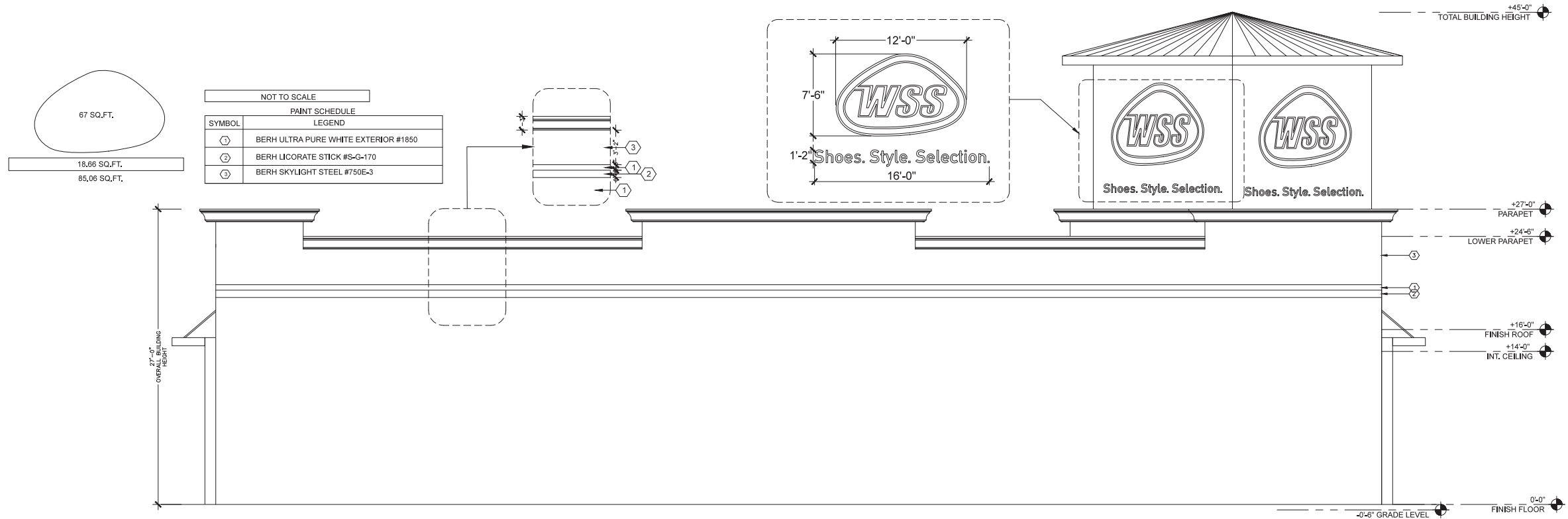
SHEET

A-3.0

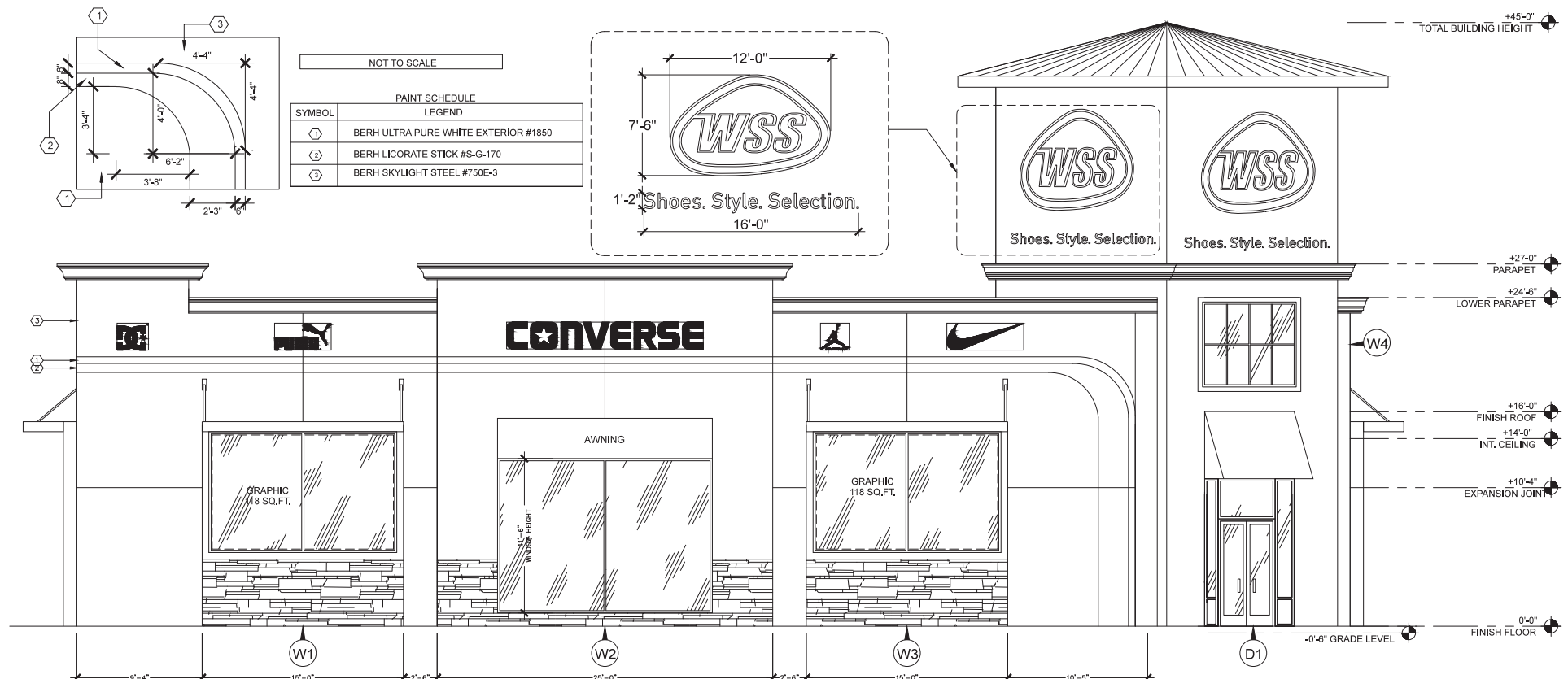
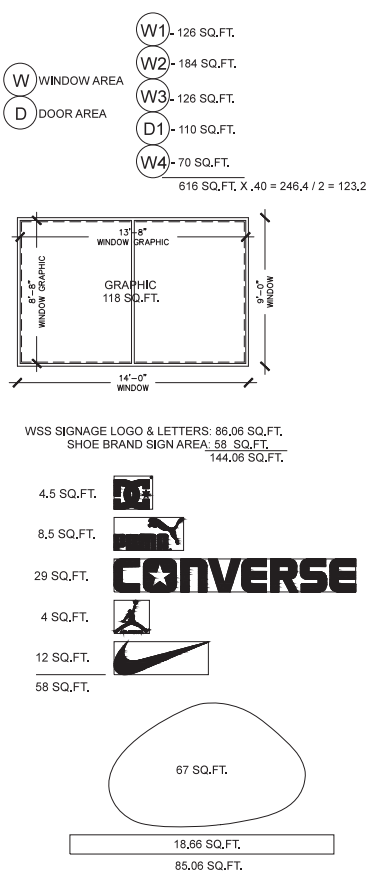
ELEVATIONS

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EAST ELEVATION  
SCALE: 3/16" = 1'-0"



NORTH ELEVATION  
SCALE: 3/16" = 1'-0"

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SHEET

A-3.1

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