



**CITY OF SAN FERNANDO
COUNCIL CHAMBERS**

PLANNING AND PRESERVATION COMMISSION AGENDA

**Special Meeting
January 18, 2012**

1. CALL TO ORDER

7:00 P.M.

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL

Chairperson Julie Cuellar, Vice-chair Mario Rodriguez, Commissioners, Alvin F. Durham, Robert Montañez, and Jose Ruelas

4. APPROVAL OF AGENDA

January 18, 2012

5. PUBLIC STATEMENTS

There will be a three (3) minute limitation per each member of the audience who wishes to make comments in order to provide a full opportunity to every person who wishes to address the Commission on community planning matters not pertaining to items on this agenda.

6. CONSENT CALENDAR

Items on the consent calendar are considered routine and may be acted on by a single motion to adopt the staff recommendation or report. If the Commission wishes to discuss any item, it should first be removed from the consent calendar.

- Approval of the Planning and Preservation Commission minutes of the December 6, 2011, meeting.

7. NEW BUSINESS

A: Subject: Variance 2011-08 and Site Plan Review 2011-10

Location: 1449 Pico Street, San Fernando, CA 91340

Applicant: Stefany Zamora, MCM-LA Engineering, Inc., 14545 Victory Boulevard, Suite 418, Van Nuys, CA 91411

Proposal: The proposed project is to construct an approximately 882-square foot addition and an attached two-car garage to an existing 448 square foot single-family dwelling located at 1449 Pico Street. The applicant is requesting the approval of a variance to construct the required two-car garage for the residence with a distance of 13 feet from the street right-of-way along South Huntington Street. The project site is an approximately 2,500 square foot lot (100 feet in depth by 25 feet in width) located along the 1400 block of Pico Street, between South Workman Street and South Huntington Street, within the R-2 (Multiple Family Dwelling) zone.

Recommendation: Staff recommends that the Planning and Preservation Commission approve Variance 2011-08 and Site Plan Review 2011-10 pursuant to Planning and Preservation Commission Resolution 2012-01 and the conditions of approval attached as Exhibit “A” to the resolution (Attachment 1).

B: Subject: Conditional Use Permit 2011-06

Location: 639 San Fernando Road, San Fernando, CA 91340

Applicant: Joseph P. Mullen, Mullen Bros. Inc., 840 W. Glenoaks Boulevard, Glendale, CA 91202

Proposal: The proposed project is a request for a conditional use permit to allow for administrative/professional offices pursuant to Section 2.8(A) of the development standards for the Auto-Commercial Sub-District at 639 San Fernando Road. The requested conditional use permit would allow for a financing company to operate at the property while discontinuing the existing legal nonconforming use of the site as a used automobile dealership. The subject property is an approximately 5,920 square foot lot located along the 600 block of San Fernando Road, between Fox Street and Wolfskill Street, within the Truman/San Fernando District of the SP-4 (Corridors Specific Plan) zone and Redevelopment Project Area No.2.

Recommendation: Staff recommends that the Planning and Preservation Commission approve Conditional Use Permit 2011-06 pursuant to Planning and Preservation Commission Resolution 2012-02 and the conditions of approval attached as Exhibit “A” to the resolution (Attachment 1).

If, in the future, you wish to challenge the items listed above in Court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice or in written correspondence delivered to the City Planning Commission at, or prior to, the public hearing. Decisions of Planning and Preservation Commission may be appealed to the City Council within 10 days following the final action.

8. **STAFF COMMUNICATIONS**

9. **COMMISSION COMMENTS**

10. **ADJOURNMENT**
February 7, 2012

Any public writings distributed to the Planning and Preservation Commission regarding any item on this regular meeting agenda will also be made available at the Community Development Department public counter at City Hall located at 117 Macneil Street, San Fernando, CA, 91340 during normal business hours. In addition, the City may also post such documents on the City's Web Site at www.sfcity.org.

In accordance with the Americans with Disabilities Act of 1990, if you require a disability-related modification or accommodation to attend or participate in this meeting, including auxiliary aids or services please call the Community Development Department office at (818) 898-1227 at least 48 hours prior to the meeting.



**CITY OF SAN FERNANDO
PLANNING AND PRESERVATION COMMISSION**

**DRAFT MINUTES OF THE DECEMBER 6, 2011, MEETING - 7:00 P.M.
CITY HALL COUNCIL CHAMBER**

THE FOLLOWING MINUTES ARE A SUMMARY OF ACTIONS TAKEN BY THE PLANNING COMMISSION. AUDIO OF THE ACTUAL MEETING IS AVAILABLE FOR LISTENING IN THE COMMUNITY DEVELOPMENT DEPARTMENT.

CALL TO ORDER

The meeting was called to order by Chairperson Julie Cuellar at 7:08 P.M.

PLEDGE OF ALLEGIANCE

Led by Commissioner Jose Ruelas

ROLL CALL

The following persons were recorded as present:

PRESENT: Chairperson Julie Cuellar, Vice-chair Mario Rodriguez, Commissioners, Robert Montañez, and Jose Ruelas

ABSENT: Alvin F. Durham

ALSO PRESENT: City Planner Fred Ramirez, Assistant Planner Edgar Arroyo, Assistant Planner Rina Lara, and Community Development Secretary Michelle De Santiago

APPROVAL OF AGENDA

Commission R. Montañez move to approve the agenda of December 6, 2011, Planning and Preservation Commission Meeting. Seconded by Commissioner J. Ruelas, the motion carried with the following vote:

AYES:	R. Montañez, J. Ruelas, J. Cuellar and M. Rodriguez
NOES:	None
ABSENT:	A. Durham
ABSTAIN:	None

CONSENT CALENDAR

Commissioner R. Montañez moved to approve the minutes of the November 1, 2011 Planning and Preservation Commission meeting. Seconded by Commissioner J. Ruelas, the Motion carried with the following vote:

AYES:	R. Montañez, J. Ruelas, J. Cuellar, and M. Rodriguez
NOES:	None
ABSENT:	A. Durham
ABSTAIN:	None

UNFINISHED BUSINESS

None

PUBLIC HEARING 7A:

Site Plan Review 2011-04 and Variance 2011-07 – 774 North Maclay Avenue, San Fernando, CA 91340 – Fawzy Tadros, 3009 Trudi Lane, Burbank, CA 91504 – The proposed project is a request to construct an approximately 1,800 square foot commercial building for use as a dental office with an ancillary

pharmacy use at a vacant lot. The applicant is requesting the approval of a variance to provide a two-foot front setback and a 10-foot driveway for vehicles to access the proposed parking facilities at the rear of the property. The project site is an approximately 6,279 square foot lot located along the 700 block of North Maclay Avenue, between Glenoaks Boulevard and De Haven Street, within the Maclay District of the SP-4 (Corridor Specific Plan) zone.

Staff Presentation

Assistant Planner Edgar Arroyo provided the staff presentation recommending that the Planning and Preservation Commission approve Variance 2011-07 and Site Plan Review 2011-04 pursuant to Resolution 2011-10 and the conditions of approval attached as Exhibit "A" to the resolution (Attachment1).

Public Testimony

None

Commission Discussion

M. Rodriguez asked if the driveway entrance would be located on the portion of the frontage nearest to the adjacent 7-11 store at 776 N. Maclay Avenue.

E. Arroyo indicated that the applicant is proposing the driveway adjacent to the Farmer's Insurance building located at 760 N. Maclay Avenue.

M. Rodriguez asked about vehicular egress onto Maclay Avenue and whether a "Right Turn Only" option would be necessary.

E. Arroyo stated that if the Commission was in agreement and felt strongly about it that it can be included as part of the conditions of approval.

J. Ruelas expressed that he liked the safety features incorporated into the plan such as that of the active signaling system that would be used to alert anyone in the driveway that a car will be entering or exiting. He also wanted to know how the proposed system would work.

E. Arroyo explained that the City would not have the specifics with how it will function until the applicant submits the construction documents for Plan Check.

M. Rodriguez asked if the applicant is proposing a mirror for drivers to use for pedestrians approaching the driveway.

E. Arroyo stated that the Commission could include it as part of the conditions of approval.

R. Montañez asked about the trash enclosure size and type, as well as the protruding air conditioner from the adjacent building. Additionally, he also inquired about the proposed perimeter brick wall at the rear.

E. Arroyo indicated that the trash enclosure, as it was proposed, would be enclosed with a six-foot high block enclosure. Additionally, the air conditioner will need to be removed from the adjacent property since it currently crosses property lines. Also, he clarified that the proposed block wall would be built at the property line to the rear.

Subsequent to discussion, Commissioner J. Ruelas moved to approve Variance 2011-07 and Site Plan Review 2011-04 with an amendment to the conditions of approval to include visual cues for safety measures for vehicles making a right hand turn entering the parking lot. Seconded by vice-chair M. Rodriguez, the motion carried with the following vote:

AYES:	J. Ruelas, M. Rodriguez, J. Cuellar, and R. Montañez
NOES:	None
ABSENT:	A. Durham
ABSTAIN:	None

Item 7B)

Affordable Housing Initiatives Update – City of San Fernando – Staff will present the Affordable Housing Initiatives Update requesting that the Planning and Preservation Commission provide staff with input regarding a proposed amendment to the City’s zoning and development standard for an affordable housing density bonus ordinance, as a first step in an effort to facilitate the development of various types of housing for all economic segments of the community.

Staff Presentation

Assistant Planner Rina Lara provided the Planning and Preservation Commission with the Affordable Housing Initiatives update and provided a power point presentation requesting input from the commission to draft an Ordinance for their consideration.

At the conclusion of the presentation the Planning and Preservation Commission concurred and directed staff to proceed with an outline for the proposed amendment to the City’s zoning and development standard for an affordable housing density bonus ordinance.

STAFF COMMUNICATIONS

F. Ramirez asked the commission if they would be available for a special meeting on Wednesday, January 18, 2012 instead of the regularly scheduled meeting on Wednesday, January 4, 2012.

COMMISSION COMMENTS

J. Cuellar asked staff for an update regarding 857 N. Brand Blvd., 650 Glenoaks Blvd., and the shade structure at 1218 Fourth Street.

R. Montañez asked for the proposed use at 800 N. Maclay Avenue.

PUBLIC STATEMENTS

None

ADJOURNMENT

Chairperson J. Cuellar moved to adjourn the Planning and Preservation Commission Meeting to January 18, 2012. Seconded by Commissioner R. Montañez, the motion carried with the following vote:

AYES:	J. Cuellar, R. Montañez, M. Rodriguez, and J. Ruelas
NOES:	None
ABSENT:	A. Durham
ABSTAIN:	None

9:10 P.M.
Fred Ramirez
Planning Commission Secretary

MEETING DATE: January 18, 2012

PUBLIC HEARING:

1. CHAIRPERSON TO OPEN THE ITEM AND REQUEST STAFF REPORT
2. STAFF PRESENTS REPORT
3. COMMISSION QUESTIONS ON STAFF REPORT
4. OPEN FOR PUBLIC HEARING
5. CLOSE PUBLIC HEARING
6. PLANNING AND PRESERVATION COMMISSION DISCUSSION
7. RECOMMENDED ACTION:

(a) **To Approve:**

“I move to approve Variance 2011-08 and approve Site Plan Review 2011-10 at 1449 Pico Street, pursuant to Planning and Preservation Commission Resolution 2012-01 and conditions of approval attached as Exhibit “A” to the resolution (Attachment 1).

(b) **To Deny:**

“I move to deny Variance 2011-08 and deny Site Plan Review 2011-10 at 1449 Pico Street, based on the following findings of fact...” (Roll Call Vote)

(c) **To Continue:**

“I move to continue consideration of Variance 2011-08 and continue Site Plan Review 2011-10, to a specific date...” (Roll Call Vote)

PUBLIC HEARING:

To Approve ()

To Deny ()

To Continue ()

Moved by: _____

Seconded by: _____

Roll Call: _____

Item 7A:

Variance 2011-08 and Site Plan Review 2011-10

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CITY OF SAN FERNANDO

PLANNING AND PRESERVATION COMMISSION STAFF REPORT

DATE: January 18, 2012

TO: SAN FERNANDO PLANNING AND PRESERVATION COMMISSION

FROM: Fred Ramirez, City Planner *FR*
Prepared by: Edgar Arroyo, Assistant Planner *EA*

SUBJECT: **Variance 2011-08 and Site Plan Review 2011-10**
1449 Pico Street, San Fernando, CA, 91340 (APN: 2521-004-015)

PROPOSAL: The proposed project is to construct an approximately 882-square-foot addition and an attached two-car garage to an existing 448-square-foot single-family dwelling located at 1449 Pico Street. The applicant is requesting the approval of a variance to construct the required two-car garage for the residence with a distance of 13 feet from the street right-of-way along South Huntington Street. The project site is an approximately 2,500-square-foot lot (100 feet in depth by 25 feet in width) located along the 1400 block of Pico Street, between South Workman Street and South Huntington Street, within the R-2 (Multiple Family Dwelling) zone.

APPLICANT(s): Stefany Zamora, MCM-LA Engineering, Inc., 14545 Victory Boulevard, Suite 418, Van Nuys, CA 91411

RECOMMENDATION:

Staff recommends that the Planning and Preservation Commission approve Variance 2011-08 and Site Plan Review 2011-10 pursuant to Planning and Preservation Commission Resolution 2012-01 and the conditions of approval attached as Exhibit "A" to the resolution (Attachment 1).

PROJECT OVERVIEW:

On September 1, 2011, Stefany Zamora, the applicant for the proposed project, submitted a site plan review application to construct an addition to existing a 448-square-foot single-family dwelling located at 1449 Pico Street. The proposed project consists of an 882-square-foot two-story addition a top a new 380-square-foot attached two-car garage to the rear of the existing dwelling. In addition, the existing portion of the dwelling will be rehabilitated and the site would be further improved with landscaping and a new wrought-iron style fence along the perimeter of the property. The project site is a 2,500-square-foot corner lot (100 feet in depth by 25 feet in

width) along the 1400 block of Pico Street, located between South Workman Street and South Huntington Street, within the R-2 (Multiple Family Dwelling) zone.

On September 13, 2011, staff provided comments to the applicant regarding the location of the garage and the design of the proposed residential addition. Staff noted that a garage would require a minimum distance of 20 feet from the street right-of-way pursuant to City Code Section 106-967(3). Due to the narrow width of the lot, the applicant is proposing to locate the garage with three-foot side setbacks and a total distance of 13 feet from the street right-of way along S. Huntington Street. Vehicular ingress and egress to the garage would be made from an existing driveway approach located along S. Huntington Street. As such, staff suggested that the applicant verify if the driveway approach and vehicular entry to the garage could be relocated to prevent vehicles backing out directly onto S. Huntington Street.

On October 17, 2011, the applicant resubmitted the set of plans with a new driveway approach located at the rear-most portion of the property so that vehicles enter the property and turn into the garage entrance, rather than provide ingress and egress directly from the street. Additionally, the applicant noted on the plans the location of an existing utility pole and telecommunications manhole within the parkway and sidewalk abutting the property along Huntington Street. Staff reviewed the location of the proposed new driveway approach with the Public Works Department's engineering staff to determine if relocation of the existing driveway would be feasible due the obstruction created by the utility pole and telecommunications manhole. After meeting collectively, the relocation of the driveway was not deemed feasible because locating the driveway approach in between these two obstructions would have created an approach that is substandard in width.

As such, the applicant resubmitted the original proposal, along with an application requesting a variance to deviate from the development standards that require a garage to maintain a minimum distance of 20 feet from the street right-of-way. The variance request was made on the basis that the narrow lot width and the location of the existing residence made it physically impossible to provide the required garage for the single-family residence at the distance required by City Code Section 106-967(3). The proposed garage would instead be constructed with a distance of 13 feet from the street right-of-way.

BACKGROUND:

1. **Zoning and General Plan Designation:** The project site is located within the R-2 (Multiple Family Dwelling) zone and has a Medium Density Residential (MDR) land use designation in the city's general plan.
 2. **Site Location and Description:** The project site is an approximately 2,500-square-foot lot (100 feet in depth by 25 feet in width) located along the 1400 block of Pico Street, between S. Workman Street and S. Huntington Street. The project site is currently developed with a dilapidated 448-square-foot single-family dwelling that is currently vacant. The site is bound by similar and compatible residential uses within the R-1 (Single-Family
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Residential) zone to the north and west and the R-2 (Multiple Family Residential) zone to the south and east.

3. **Environmental Review:** This project has been reviewed for compliance with the California Environmental Quality Act (CEQA). It is staff's assessment that this project proposal qualifies for a Categorical Exemption under Class 32 (In-Fill Development Project) of San Fernando's CEQA Guidelines. If the Planning and Preservation Commission concurs with staff's determination, no further environmental assessment is necessary.
4. **Legal Notification:** On January 5, 2012, the public hearing notice was posted at two City Hall bulletins, at the County Public Library bulletin, and at the project site. A notice was also published in the January 5, 2012, legal advertisement section of the *San Fernando Valley Sun* and on the online version of the *San Fernando Valley Sun*. In addition, notices of this hearing were mailed to all property owners of record within 500 feet of the subject site.

ANALYSIS:

1. **General Plan and Zoning Consistency.** The proposed project involving an 882-square-foot residential building addition with a new 380-square-foot attached two-car garage is consistent with the following goals and objectives of the San Fernando General Plan Land Use Element by:

- ✓ Retaining the small town character of San Fernando;
- ✓ Maintaining an identity that is distinct from surrounding communities; and,
- ✓ Conserving single family neighborhoods.

(San Fernando General Plan Land Use Element Goals I-V, Pg. IV-6)

In addition, it is staff's assessment that the proposed building design and site improvements are consistent with the development standards and design guidelines for similarly zoned property within the R-2 (Multiple Family Dwelling) zone. These standards and design guidelines seek to promote compatible building and site design that improves the visual quality of the surrounding residential area through aesthetically pleasing site planning, building design, and landscape architecture. The proposed project would be a significant improvement to the existing deteriorated and vacant single-family dwelling through its rehabilitation and new building addition.

2. **Proposed Design.** As part of the project, the proposed 882-square-foot two-story addition and attached two-car garage would be constructed at the rear of the existing single-family dwelling. The existing deteriorated 448-square-foot dwelling would be rehabilitated and improved to incorporate the attractive residential design style that is proposed with the addition. The proposed second-floor addition would be built over a portion of the existing dwelling and above the new two-car garage along S. Huntington Street. The second floor
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would be setback further from the first floor to provide increase building articulation and depth that would result in an enhanced overall design.

The proposal includes a smooth stucco finish to the exterior of the residence with a brick veneer band that would wrap around the building. In addition, horizontal composite siding would be added under the roof pitches to break up vertical elements in the design, improving the architectural character of the building in a manner that is consistent with the adopted *Single-Family Residential Design Guidelines*.

It is staff's assessment that the proposed design of the project would greatly improve the existing deteriorated condition of the residential property by incorporating a high quality of architectural design. The proposed architectural style of the building is appropriate for the single-family residence and is a much needed improvement within the residential neighborhood along Pico Street.

3. **Proposed Garage.** Pursuant to City Code Section 106-822(a)(1), a single-family dwelling is required to provide vehicular parking on-site, within a two-car garage. Additionally, City Code Section 106-967(3) requires that a garage maintain a minimum distance of 20 feet from the street right-of-way. Currently, the site is not developed with a garage for the existing dwelling. As part of the proposal, an attached garage would be constructed with side setbacks of three feet on the property and a distance of 13 feet from the street right-of-way along S. Huntington Street. In reviewing the project, staff explored design alternatives with the applicant to provide vehicular ingress and egress to the garage from the rear yard of property, rather than directly from the street.

In reviewing design alternatives, it was discovered that an electrical utility pole and a telecommunications manhole are currently located in the parkway and sidewalk abutting the project site's rear yard along S. Huntington Street. Staff met with the Public Works Department's engineering staff to determine whether it would be feasible to relocate the driveway approach between the utility pole and telecommunications manhole. After review, it was determined that the distance between the two was insufficient to provide a new driveway approach what would adequately provide vehicular ingress and egress the property.

As such, the applicant revised the previously submitted proposal with additional staff recommendations calling for the existing wood picket fence and low block wall along the side of the property to be removed and replaced with a decorative six-foot high wrought-iron style fence along S. Huntington Street. The non-view obscuring decorative wrought-iron style fence would replace the existing deteriorated block wall and fencing material and allow for improved visibility to drivers exiting the garage onto the street. In addition, staff recommends the installation of a convex mirror in a location that would provide drivers exiting the garage with improved visibility to oncoming pedestrians. These conditions have been incorporated in the conditions of approval for the project.

The proposed deviation of the development standards by building the proposed garage at a distance of 13 feet from the street right-of-way, instead of the required 20 feet, would require a variance to be reviewed and approved by the Planning and Preservation Commission. As such, the applicant has submitted a request for approval of a variance from City Code Section 106-967(3) due to: the narrow width of the lot; the location of the existing residential structure; and, the physical obstructions created by the location of the utility pole and telecommunications manhole that prevent the relocation of the existing driveway approach. Further discussion regarding the proposed variance and the required findings is provided in Section 4 of the analysis.

4. **Variance.** A variance is a discretionary permit issued by the Planning and Preservation Commission allowing a property owner to deviate from a development standard or to build a structure not otherwise permitted under the applicable development standards. The statutory justification for a variance is that the owner would otherwise suffer a unique hardship under the general zoning regulations because the particular parcel is different from the others to which the regulation applies due to its size, shape, topography, location and/or surroundings.

A variance is subject to discretionary review by the Planning and Preservation Commission. The variance review process allows the commission the opportunity to assess the proposal's consistency with the city's general plan policies, redevelopment plan goals and objectives, zoning development standards, and design guidelines. This process provides for a review of the quality of site design and building layout, and of compatibility of the proposed development within its immediate surroundings.

Conditions imposed on the applicant through the discretionary review process may call for any measures that are reasonably related to the project. This principal is applied in the form of seven findings of fact that the commission must consider in making its decision. All findings must be justified and upheld in the affirmative for approval of the variance. A negative determination on any single finding will uphold a denial.

If the Planning and Preservation Commission concurs with staff's assessment, it would be the commission's determination that the findings for approval of the variance could be made in this instance based on the aforementioned discussion, and as explained below.

- **There are special circumstances or exceptional characteristics applicable to the property involved, including size, shape, topography, location, or surroundings such that strict application of the zoning ordinance deprives such property of privileges enjoyed by other property in the vicinity and under the identical zoning classification.**

The project site at 1449 Pico Street is an approximately 2,500-square-foot lot (100 feet in depth by 25 feet in width) that is currently developed with a dilapidated 448-square-foot single-family dwelling that is currently vacant. As part of the project, an 882-square-foot two-story addition with an attached two-car garage would be built at the

rear of the existing dwelling. In addition, the existing portion of the dwelling will be rehabilitated and the site would be further improved with landscaping and new perimeter wrought-iron style fencing material. The requested variance would allow the proposed two-car garage to be built with a distance of 13 feet from the street right-of-way. Pursuant to City Code Section 106-967(3), a garage is required to maintain a minimum of 20 feet from the ultimate street right-of-way.

Due to the narrow width of the lot and the location of the existing residential structure, strict adherence to the development standards requiring a garage to maintain 20 feet from the street right-of-way would result in a garage with substandard dimensions to adequately house vehicles. In addition, the existing location of a utility pole and telecommunications manhole on the parkway and sidewalk abutting the rear of the property along S. Huntington Street create a physical obstacle to the relocation of the existing driveway in a manner that would allow vehicles to enter the property and turn into an entrance to the garage. The proposed configuration of the garage, with direct vehicular access from the street, would not have an adverse impact in the surrounding residential community with the implementation of the conditions of approval. The conditions of approval for the project would require the developer to install non-view obscuring fencing and a convex mirror along S. Huntington Street to increase visibility of potential oncoming vehicles and pedestrians.

It is staff's assessment that there are special circumstances and exceptional physical characteristics applicable to the project site pertaining to: the narrow width of the lot; the location of the existing residential structure; and, the existing utilities along the parkway and sidewalk that prevent the relocation of the driveway approach. Based on these special circumstances and exception physical characteristics, it is staff's determination that strict application of the zoning ordinance would deprive the property of providing the required parking on-site, within a two-car garage, as permitted for similar residentially zoned properties within the R-2 (Multiple Family Dwelling) zone. Thus, it is the staff's assessment that this finding can be made.

- **The granting of such variance will not be detrimental to the public interest, safety, health or welfare, and will not be detrimental or injurious to the property or improvements in the same vicinity and zone in which the property is located.**

The granting of a variance to deviate from the development standard that requires a garage to maintain a distance of 20 feet from the ultimate street right-of-way would allow for the rehabilitation the single-family residence and the abatement of all existing potentially hazardous property maintenance conditions of the project site in a manner that would not be detrimental to the public interest, safety, health, or welfare. The proposed project would result in an 882-square-foot two story addition to the existing 448-square-foot single-family dwelling while providing the required parking for the residence on-site, within an attached 380-square-foot two-car garage. The attached two-car garage would be constructed in compliance with the setback

requirements for a narrow, 25-foot wide lot and at a distance of 13 feet from the street right-of-way.

The rehabilitation of the existing single-family dwelling and the proposed new addition at the subject site would result in a project that will comply with all applicable building codes as well as provide upgraded infrastructure to the site and adjacent parkway area. Collectively, the proposed on-site and off-site physical improvements would improve public health and safety on-site, preserve the public interest and welfare by providing a well designed residential dwelling and the required parking for the property on-site, within a two-car garage in a manner that is consistent with the overall pattern of residential development in the surrounding neighborhood. Furthermore, the proposed configuration of the garage, with direct vehicular access from the street, would not have an adverse impact in the surrounding residential community by implementing of the conditions of approval that require installation of non-view obscuring fencing and a convex mirror along S. Huntington Street to increase visibility of potential oncoming vehicles and pedestrians.

Therefore, the rehabilitation of the physically blighted project site, along with the proposed building addition and new two-car garage will not be detrimental or injurious to the property and is consistent with the pattern of residential development encouraged within the R-2 (Multiple Family Residential) zone. Thus, it is the staff's assessment that this finding can be made.

- **The granting of such variance will not be contrary to or in conflict with the general purposes and intent of the zoning ordinance, nor to the goals and programs of the General Plan.**

The granting of a variance to allow the construction of the attached two-car garage at a distance of 13 feet from the street right-of-way and the proposed building addition and rehabilitation of the single-family dwelling would facilitate the abatement of all property maintenance issues that currently exist on the site. Collectively, these proposed physical improvements would result in a residential structure of a high quality of architectural design. Pursuant to City Code Section 106-387, uses permitted in R-1 (Single-Family Residential) zone are also permitted within the R-2 (Multiple-Family Dwelling) zone. Therefore, a single-family residential development is permitted in the R-2 zone providing that the proposal meet all applicable development standards.

Given the physical constraints associated with the lot's width, overall size, the location of existing structures on the site, and proximity to the street along S. Huntington Street, it would be physically impossible to construct the required two-car garage pursuant to the city's required distance from the street right-of-way. In addition, the existing location of a utility pole and telecommunications manhole on the parkway and sidewalk abutting the rear of the property along S. Huntington Street create an obstacle to relocation of the existing driveway in a manner that would allow vehicles to

adequately enter the property and turn into the garage. The construction of the garage with the applicable street right-of-way distance would also result in an inadequate building design that would not accommodate the standard length of a vehicle required by the city's parking standards.

The building addition and residential rehabilitation project, with all proposed on-site and off-site improvements, are consistent with the goals and objectives of the City of San Fernando General Plan Land Use Element by "retaining the small town character of San Fernando, maintaining an identity that is distinct from surrounding communities, and conserving single-family neighborhoods" (General Plan Land Use Element Goals I-V, Pg. IV-6). Thus, it is the staff's assessment that this finding can be made.

- **The variance request is consistent with the purpose and intent of the zone in which the site is located.**

The proposed project is consistent with the purpose and intent of the R-2 (Multiple-Family Residential) zone by allowing residential developments consisting of single-family dwellings, duplexes, and other multi-family dwelling units. The requested variance to allow for the construction of the attached two-car garage at a distance of 13 feet from the street right-of-way is consistent with the city's parking standards for similarly residentially zoned property that require parking for a residence to be provided on-site and within a two-car garage. Additionally, proposed configuration of the garage with direct vehicular access from the street would not have an adverse impact in the surrounding residential community. Specifically, the project's conditions of approval require the installation of non-view obscuring fencing and a convex mirror along S. Huntington Street to enhance visibility of oncoming vehicles and pedestrians.

Furthermore, the project site would be rehabilitated, improving the physical appearance of the site through attractive building and site design and by the abatement of all potentially hazardous property maintenance issues that currently exist on-site and have the potential to adversely impact the quality of life in the surrounding neighborhood. The project introduces private investment at an overall mass and scale that significantly improves the site and adjacent public right-of-way, while meeting the purpose and intent of the R-2 (Multiple Family Dwelling) zone in a manner that does not infringe upon the adjoining property owners' use and enjoyment of their property. Thus, it is staff's assessment that this finding can be made.

- **The subject site is physically suitable for the proposed variance.**

The project site at 1449 Pico Street is an approximate 2,500-square-foot property (25 feet in width by 100 feet in length) that is currently developed with a 448-square-foot single-family residence without on-site covered parking facilities. As part of the project, the existing single-family dwelling would be rehabilitated and enlarged with a second-story addition and a new attached two-car garage with vehicular access along

S. Huntington Street. The proposed garage would be constructed with three-foot side setbacks and at a distance of 13 feet from the street right-of-way.

Due to the narrow width of the lot, strict adherence to the development standards requiring a garage to maintain 20 feet from the street right-of-way would result in a garage with substandard dimensions to adequately house vehicles. In addition, the location of the existing residential building as well as the existing location of a utility pole and telecommunications manhole on the parkway and sidewalk abutting the rear of the property along S. Huntington Street creates an impediment to the relocation of the existing driveway in a manner that would allow vehicles to enter the property and turn into the garage. The proposed configuration of the garage with direct vehicular access from the street would not have an adverse impact in the surrounding residential community, subject to the implementation of the conditions of approval. The conditions of approval for the project would require the developer to install non-view obscuring fencing and a convex mirror along the S. Huntington Street to enhance visibility of oncoming vehicles and pedestrians.

Therefore, the site's dimensions, overall lot size, and the existing location of the residential structure create physical obstacles that restrict the placement of the required garage and therefore warrant the approval of the aforementioned variance to allow for proposed rehabilitation and addition to the existing single-family dwelling at a mass and scale that is appropriate for the subject site. Thus, it is the staff's assessment that this finding can be made.

- **There are adequate provisions for water, sanitation and public utilities and services to ensure that the proposed variance would not be detrimental to public health and safety.**

The requested variance to construct the required garage at a distance of 13 feet from the ultimate street right-of-way, along with the proposed residential addition and site improvements, would not have an adverse impact to water, sanitation and public utilities and services and would not be detrimental to public health and safety. The proposed residential development would require upgraded water, sewer, and electrical infrastructure on a site that has already been developed as a residential lot. These physical improvements would not create an undue burden on existing water, sanitation and public utilities and services. Any infrastructure and utility upgrades required as part of the project would be developed in compliance with the applicable city building codes. Thus, it is the staff's assessment that this finding can be made.

- **There will be adequate provisions for public access to service the property which is the subject of the variance.**

The proposed residential addition and rehabilitation project, along with all associated on-site and off-site improvements that eliminate the existing physically blighted condition of the site, would significantly improve public and emergency access to and

from the project site. As part of the required off-site improvements, broken, damaged, and deteriorated portions of the sidewalk abutting the property would be replaced, improving pedestrian safety along the project site. Additionally, three parkway trees would be planted along South Huntington Street to improve the aesthetic character of the neighborhood.

The existing driveway along S. Huntington Street would be retained to provide vehicular ingress and egress to the garage on the property. Therefore, the proposed project would provide adequate provisions for safe public access to service the property. The requested variance to provide the required two-car garage at a distance of 13 feet from the ultimate street right-of-way would not impair safe pedestrian and vehicular access to the site through the implementation of the conditions of approval. Thus, it is the staff's assessment that this finding can be made.

CONCLUSION:

In light of the forgoing analysis, it is staff's assessment that the proposed residential building addition and rehabilitation of the existing single-family dwelling, along with all proposed on-site and off-site improvements, would significantly improve the subject property in a manner consistent with the general plan's goals and objectives, and the development standards and design guidelines for residentially zoned property within the R-2 (Multiple Family Dwelling) zone. In addition, the requested variance to construct the required two-car garage with a distance of 13 feet from the street right-of-way would allow for the required parking to be constructed on-site without adversely impacting the residential neighborhood, subject to the implementation of the recommended conditions of approval.

Therefore, staff recommends that the Planning and Preservation Commission approve Variance 2011-08 and Site Plan Review 2011-10, pursuant to Planning and Preservation Commission Resolution 2012-01 and the conditions of approval attached as Exhibit "A" to the resolution (Attachment 1).

ATTACHMENTS (5):

1. Planning and Preservation Commission Resolution 2012-01 and Exhibit "A": Conditions of Approval
 2. Vicinity Map
 3. Zoning Map
 4. Project Site Photos
 5. Proposed Site Plan, Floor Plan, and Elevations
-

ATTACHMENT 1:

**Planning and Preservation Commission
Resolution 2012-01 and
Exhibit “A”: Conditions of Approval**

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RESOLUTION NO. 2012-01

A RESOLUTION OF THE PLANNING AND PRESERVATION COMMISSION OF THE CITY OF SAN FERNANDO APPROVING VARIANCE 2011-08 AND SITE PLAN REVIEW 2011-10 TO ALLOW FOR A BUILDING ADDITION AND REHABILITATION OF AN EXISTING SINGLE-FAMILY DWELLING WITH AN ATTACHED TWO-CAR GARAGE AT A DISTANCE OF 13 FEET FROM THE ULTIMATE STREET RIGHT-OF-WAY AT 1449 PICO STREET.

WHEREAS, an application has been filed by Stefany Zamora of MCM-LA Engineering, Inc., with the city requesting approval of a variance to deviate from City Code Section 106-967(3) to allow for the construction of an approximate 380-square-foot attached two-car garage at a distance of 13 feet from the ultimate street right-of-way, along with a 882-square-foot two story building addition and the rehabilitation of the existing 448-square-foot single-family dwelling. The subject property is an approximately 2,500-square-foot corner lot (100 feet in depth by 25 feet in width) located at 1449 Pico Street, within the R-2 (Multiple Family Dwelling) zone.

WHEREAS, the Planning and Preservation Commission has considered all of the evidence presented in connection with the project, written and oral at the public hearing held on the 18th day of January 2012.

NOW, THEREFORE, BE IT RESOLVED that the Planning and Preservation Commission finds as follows:

SECTION 1: This project has been reviewed for compliance with the California Environmental Quality Act (CEQA). It is staff's assessment that this project proposal qualifies for a Categorical Exemption under Class 32 (In-Fill Development Project) of San Fernando's CEQA Guidelines; and

SECTION 2: The proposed project and provisions for its design and improvements are consistent with the objectives, policies, and general land uses and programs provided in the City's General Plan; and

SECTION 3: Pursuant to City Code §106-295, the Planning and Preservation Commission finds that the following findings for Variance 2011-08, to allow for a two-car garage to be built at a distance of 13 feet from the ultimate street right-of-way, have been justified and upheld in the affirmative. The Planning and Preservation Commission findings are as follows:

- 1) There are special circumstances or exceptional characteristics applicable to the property involved, including size, shape, topography, location, or surroundings such that strict application of the zoning ordinance deprives such property of privileges, enjoyed by other property in the vicinity and under the identical zoning classification.**

The project site at 1449 Pico Street is an approximately 2,500-square-foot lot (100 feet in depth by 25 feet in width) that is currently developed with a dilapidated 448-square-foot single-family dwelling that is currently vacant. As part of the project, an 882-square-foot two-story addition

with an attached two-car garage would be built at the rear of the existing dwelling. In addition, the existing portion of the dwelling will be rehabilitated and the site would be further improved with landscaping and new perimeter wrought-iron style fencing material. The requested variance would allow the proposed two-car garage to be built with a distance of 13 feet from the street right-of-way. Pursuant to City Code Section 106-967(3), a garage is required to maintain a minimum of 20 feet from the ultimate street right-of-way.

Due to the narrow width of the lot and the location of the existing residential structure, strict adherence to the development standards requiring a garage to maintain 20 feet from the street right-of-way would result in a garage with substandard dimensions to adequately house vehicles. In addition, the existing location of a utility pole and telecommunications manhole on the parkway and sidewalk abutting the rear of the property along S. Huntington Street create a physical obstacle to the relocation of the existing driveway in a manner that would allow vehicles to enter the property and turn into an entrance to the garage. The proposed configuration of the garage, with direct vehicular access from the street, would not have an adverse impact in the surrounding residential community with the implementation of the conditions of approval. The conditions of approval for the project would require the developer to install non-view obscuring fencing and a convex mirror along S. Huntington Street to increase visibility of potential oncoming vehicles and pedestrians.

It is the commission's assessment that there are special circumstances and exceptional physical characteristics applicable to the project site pertaining to: the narrow width of the lot; the location of the existing residential structure; and, the existing utilities along the parkway and sidewalk that prevent the relocation of the driveway approach. Based on these special circumstances and exception physical characteristics, it is the commission's determination that strict application of the zoning ordinance would deprive the property of providing the required parking on-site, within a two-car garage, as permitted for similar residentially zoned properties within the R-2 (Multiple Family Dwelling) zone. Thus, it is the commission's assessment that this finding can be made in this case.

2) The granting of such variance will not be detrimental to the public interest, safety, health or welfare, and will not be detrimental or injurious to the property or improvements in the same vicinity and zone in which the property is located.

The granting of a variance to deviate from the development standard that requires a garage to maintain a distance of 20 feet from the ultimate street right-of-way would allow for the rehabilitation the single-family residence and the abatement of all existing potentially hazardous property maintenance conditions of the project site in a manner that would not be detrimental to the public interest, safety, health, or welfare. The proposed project would result in an 882-square-foot two story addition to the existing 448-square-foot single-family dwelling while providing the required parking for the residence on-site, within an attached 380-square-foot two-car garage. The attached two-car garage would be constructed in compliance with the setback requirements for a narrow, 25-foot wide lot and at a distance of 13 feet from the street right-of-way.

The rehabilitation of the existing single-family dwelling and the proposed new addition at the subject site would result in a project that will comply with all applicable building codes as well as provide upgraded infrastructure to the site and adjacent parkway area. Collectively, the proposed on-site and off-site physical improvements would improve public health and safety on-site, preserve the public interest and welfare by providing a well designed residential dwelling and the required parking for the property on-site, within a two-car garage in a manner that is consistent with the overall pattern of residential development in the surrounding neighborhood. Furthermore, the proposed configuration of the garage, with direct vehicular access from the street, would not have an adverse impact in the surrounding residential community by implementing of the conditions of approval that require installation of non-view obscuring fencing and a convex mirror along S. Huntington Street to increase visibility of potential oncoming vehicles and pedestrians.

Therefore, the rehabilitation of the physically blighted project site, along with the proposed building addition and new two-car garage will not be detrimental or injurious to the property and is consistent with the pattern of residential development encouraged within the R-2 (Multiple Family Residential) zone. Thus, it is the commission's assessment that this finding can be made.

3) The granting of such variance will not be contrary to or in conflict with the general purposes and intent of the zoning ordinance, nor to the goals and programs of the General Plan.

The granting of a variance to allow the construction of the attached two-car garage at a distance of 13 feet from the street right-of-way and the proposed building addition and rehabilitation of the single-family dwelling would facilitate the abatement of all property maintenance issues that currently exist on the site. Collectively, these proposed physical improvements would result in a residential structure of a high quality of architectural design. Pursuant to City Code Section 106-387, uses permitted in R-1 (Single-Family Residential) zone are also permitted within the R-2 (Multiple-Family Dwelling) zone. Therefore, a single-family residential development is permitted in the R-2 zone providing that the proposal meet all applicable development standards.

Given the physical constraints associated with the lot's width, overall size, the location of existing structures on the site, and proximity to the street along S. Huntington Street, it would be physically impossible to construct the required two-car garage pursuant to the city's required distance from the street right-of-way. In addition, the existing location of a utility pole and telecommunications manhole on the parkway and sidewalk abutting the rear of the property along S. Huntington Street create an obstacle to relocation of the existing driveway in a manner that would allow vehicles to adequately enter the property and turn into the garage. The construction of the garage with the applicable street right-of-way distance would also result in an inadequate building design that would not accommodate the standard length of a vehicle required by the city's parking standards.

The building addition and residential rehabilitation project, with all proposed on-site and off-site improvements, are consistent with the goals and objectives of the City of San Fernando General Plan Land Use Element by "retaining the small town character of San Fernando, maintaining an identity that is distinct from surrounding communities, and conserving single-family

neighborhoods” (General Plan Land Use Element Goals I-V, Pg. IV-6). Thus, it is the commission’s assessment that this finding can be made.

4) The variance request is consistent with the purpose and intent of the zone in which the site is located.

The proposed project is consistent with the purpose and intent of the R-2 (Multiple-Family Residential) zone by allowing residential developments consisting of single-family dwellings, duplexes, and other multi-family dwelling units. The requested variance to allow for the construction of the attached two-car garage at a distance of 13 feet from the street right-of-way is consistent with the city’s parking standards for similarly residentially zoned property that require parking for a residence to be provided on-site and within a two-car garage. Additionally, proposed configuration of the garage with direct vehicular access from the street would not have an adverse impact in the surrounding residential community. Specifically, the project’s conditions of approval require the installation of non-view obscuring fencing and a convex mirror along S. Huntington Street to enhance visibility of oncoming vehicles and pedestrians.

Furthermore, the project site would be rehabilitated, improving the physical appearance of the site through attractive building and site design and by the abatement of all potentially hazardous property maintenance issues that currently exist on-site and have the potential to adversely impact the quality of life in the surrounding neighborhood. The project introduces private investment at an overall mass and scale that significantly improves the site and adjacent public right-of-way, while meeting the purpose and intent of the R-2 (Multiple Family Dwelling) zone in a manner that does not infringe upon the adjoining property owners’ use and enjoyment of their property. Thus, it is the commission’s assessment that this finding can be made.

5) The subject site is physically suitable for the proposed variance.

The project site at 1449 Pico Street is an approximate 2,500-square-foot property (25 feet in width by 100 feet in length) that is currently developed with a 448-square-foot single-family residence without on-site covered parking facilities. As part of the project, the existing single-family dwelling would be rehabilitated and enlarged with a second-story addition and a new attached two-car garage with vehicular access along S. Huntington Street. The proposed garage would be constructed with three-foot side setbacks and at a distance of 13 feet from the street right-of-way.

Due to the narrow width of the lot, strict adherence to the development standards requiring a garage to maintain 20 feet from the street right-of-way would result in a garage with substandard dimensions to adequately house vehicles. In addition, the location of the existing residential building as well as the existing location of a utility pole and telecommunications manhole on the parkway and sidewalk abutting the rear of the property along S. Huntington Street creates an impediment to the relocation of the existing driveway in a manner that would allow vehicles to enter the property and turn into the garage. The proposed configuration of the garage with direct vehicular access from the street would not have an adverse impact in the surrounding residential community, subject to the implementation of the conditions of approval. The conditions of

approval for the project would require the developer to install non-view obscuring fencing and a convex mirror along the S. Huntington Street to enhance visibility of oncoming vehicles and pedestrians.

Therefore, the site's dimensions, overall lot size, and the existing location of the residential structure create physical obstacles that restrict the placement of the required garage and therefore warrant the approval of the aforementioned variance to allow for proposed rehabilitation and addition to the existing single-family dwelling at a mass and scale that is appropriate for the subject site. Thus, it is the commission's assessment that this finding can be made.

6) There are adequate provisions for water, sanitation and public utilities and services to ensure that the proposed variance would not be detrimental to public health and safety.

The requested variance to construct the required garage at a distance of 13 feet from the ultimate street right-of-way, along with the proposed residential addition and site improvements, would not have an adverse impact to water, sanitation and public utilities and services and would not be detrimental to public health and safety. The proposed residential development would require upgraded water, sewer, and electrical infrastructure on a site that has already been developed as a residential lot. These physical improvements would not create an undue burden on existing water, sanitation and public utilities and services. Any infrastructure and utility upgrades required as part of the project would be developed in compliance with the applicable city building codes. Thus, it is the staff's assessment that this finding can be made.

7) There will be adequate provisions for public access to service the property which is the subject of the variance.

The proposed residential addition and rehabilitation project, along with all associated on-site and off-site improvements that eliminate the existing physically blighted condition of the site, would significantly improve public and emergency access to and from the project site. As part of the required off-site improvements, broken, damaged, and deteriorated portions of the sidewalk abutting the property would be replaced, improving pedestrian safety along the project site. Additionally, three parkway trees would be planted along South Huntington Street to improve the aesthetic character of the neighborhood.

The existing driveway along S. Huntington Street would be retained to provide vehicular ingress and egress to the garage on the property. Therefore, the proposed project would provide adequate provisions for safe public access to service the property. The requested variance to provide the required two-car garage at a distance of 13 feet from the ultimate street right-of-way would not impair safe pedestrian and vehicular access to the site through the implementation of the conditions of approval. Thus, it is the commission's assessment that this finding can be made.

BE IT FURTHER RESOLVED that based upon the foregoing, the Planning and Preservation Commission hereby approves Variance 2011-08 and Site Plan Review 2011-10, subject to the conditions of approval attached as Exhibit "A".

PASSED, APPROVED AND ADOPTED this 18th day of January 2012.

JULIE CUELLAR, CHAIRPERSON

ATTEST:

FRED RAMIREZ, SECRETARY TO THE PLANNING
AND PRESERVATION COMMISSION

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF SAN FERNANDO)

I, FRED RAMIREZ, Secretary to the Planning and Preservation Commission of the City of San Fernando, do hereby certify that the foregoing Resolution was duly adopted by the Planning and Preservation Commission and signed by the Chairperson of said City at a meeting held on the 18th day of January 2012; and that the same was passed by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

FRED RAMIREZ, SECRETARY TO THE PLANNING AND
PRESERVATION COMMISSION

EXHIBIT “A”
CONDITIONS OF APPROVAL

PROJECT NO. : **Variance 2011-08 and Site Plan Review 2011-10**

PROJECT ADDRESS : 1449 Pico Street (APN: 2521-004-015)

PROJECT DESCRIPTION : The proposed project is to construct an approximately 882-square-foot addition and an attached two-car garage to an existing 448-square-foot single-family dwelling located at 1449 Pico Street. The applicant is requesting the approval of a variance to construct the required two-car garage for the residence with a distance of 13 feet from the street right-of-way along South Huntington Street. The project site is an approximately 2,500-square-foot lot (100 feet in depth by 25 feet in width) located along the 1400 block of Pico Street, between South Workman Street and South Huntington Street, within the R-2 (Multiple Family Dwelling) zone.

The following conditions shall be made a part of the approval of the project, and shall be complied with in their entirety, as determined by the Community Development Department:

1. Variance Entitlement. The variance is granted for the land described in this application and any attachments thereto, as reviewed by the Planning and Preservation Commission on January 18, 2012, except as herein modified to comply with these Conditions of Approval.
2. Occupancy per Approval. The subject property shall be improved in substantial conformance with the plans, as reviewed by the Planning and Preservation Commission on January 18, 2012, except as herein modified to comply with these Conditions of Approval.
3. Attached Checklist. The applicant shall comply with the requirements as listed in the attached Public Works Department Development/Improvement Review Checklist (See “Attachment 1” of these Conditions of Approval.)
4. Attached Memorandum. The applicant shall comply with the requirements as listed in the attached Building and Safety Memorandum (See “Attachment 2” of these Conditions of Approval.)
5. Construction Plans. A copy of the Conditions of Approval shall be printed on the final building plans submitted to the Community Development Department prior to the issuance of a building permit for the conversion of the structure from a used automobile dealership to an administrative office.
6. Building Code Requirements. The applicant shall comply with all applicable building and construction requirements of the City of San Fernando’s building codes, as specified by the city’s Community Development Department.
7. Design. The construction plans shall provide details as necessary to accomplish the architectural design

intent conveyed by the preliminary building elevations, in a manner consistent with the adopted *Single-Family Residential Design Guidelines*. Any further architectural design details and refinements shall address, but not be limited to, the following:

- a) The development shall be of the highest architectural quality, appearance, construction, and exterior materials in substantial compliance with the site plan and elevation drawings;
 - b) The character and design of the project including the proposed architectural details shall be retained and maintained over time. All features and amenities provided as specified on the approved plans and/or by these conditions of approval, including high grade dimensional (e.g., architectural shingles) roofing materials and high quality building exterior materials and fixtures, landscape, hardscape, etc., shall be retained and maintained in good condition for the life of the project;
 - c) All buildings and structures shall be painted with compatible earth tone colors. The color palette for all existing and proposed buildings and structures shall be approved in advance by the Community Development Department prior to painting;
 - d) Architectural details compatible with a high level of design quality that are referenced in the conceptual plan shall be identified in the approved site plan and be reflected in the final construction drawings. Building materials and exterior finishes shall be of a high quality material consistent with the proposed architectural style of the building. Windows and doors shall be consistent with the overall design of the building addition and noted on the approved conceptual plans;
 - e) All proposed exterior finish materials, dimensions, and exterior decorative lighting to be used (i.e. - windows, door openings, glazing, roofing, trim, stucco, veneer, etc.) shall be clearly identified and noted on the approved site plan. Colors, materials and textures that are suitable to the scale, character and design theme of the project shall be provided; and,
 - f) Any proposed variations or modifications to the site plan and/or elevations shall require prior review and approval by the Community Development Department.
8. Proposed Garage. Vehicular ingress and egress for the two-car garage along South Huntington Street shall remain clear and unobstructed at all times. At no time shall a vehicle obstruct access to the garage or impede pedestrian circulation along the sidewalk abutting garage. In addition, a convex mirror shall be installed in a location where pedestrians traveling along the sidewalk abutting the garage are clearly visible. The location of the convex mirror shall be noted on the set of the construction plans submitted for the project and shall be reviewed and approved by the Community Development Department.
9. Fencing. All existing deteriorated block wall and fences along the Pico Street and South Huntington Street shall be replaced with a decorative wrought-iron style fence or similar decorative non-view obscuring fence that complies with the development standards for the R-2 (Multiple Family Dwelling) zone. The fence height along the front setback area shall not exceed 36 inches in height. Additionally, the fence along the side and rear setback area along South Huntington Street shall not exceed six feet in height. All proposed fencing shall remain non-view obscuring and no screening shall be used that impairs a driver's visibility of pedestrians and vehicles traveling along South Huntington Street.
10. Landscape. All proposed on-site and off-site plantings shall be kept in a healthy and growing condition,

consistent with the design of a landscape and irrigation plan approved by the Community Development Department. Fertilization, cultivation, tree pruning shall be a part of regular maintenance. Good horticultural practices shall be followed in all instances. The landscaping design shall be further refined as necessary to improve the level of design quality by focusing on important design principles. Further landscape design refinements shall address, but not be limited to, the following:

- a) The landscaping shall be provided with an appropriate low-maintenance landscape design and material selection that is attractive, durable and drought-tolerant. All proposed landscape shall be arranged to emphasize visual attractiveness as viewed from the public right-of-way. To achieve a maximum visual impact and soften the appearance of exterior building walls, the landscape plan shall incorporate mature plants that are planted at high densities;
 - b) All proposed landscaped areas shall be served by well-balanced automatic irrigation system operated by an electrically timed controller station set for early morning irrigation and maintained in a manner consistent with the approved landscape plan. The final landscape/irrigation plan shall identify the size and location of all landscape materials and irrigation equipment. Water conservation measures shall be incorporated in the irrigation plan; and,
 - c) The landscape plan shall provide specifications for the following: design of hardscape elements, including pedestrian walkways, paved areas, common areas, seating, landscape planters, lighting, etc.; planting materials, including, trees, shrubs, ground cover, grass, miscellaneous plant materials, landscape containers and soil preparation; and, automatic irrigation plans, including materials and details.
11. Trash Area. Trash and recycling bins shall be maintained on-site in an area where they are not directly visible from the public right-of-way. The trash area shall be kept free of trash overflow and maintained in a clean manner at all times.
 12. Lighting. All exterior lighting shall be decorative cut-off fixtures (where no light is emitted above the horizontal plane) with the light source fully shielded or recessed to preclude light trespass or pollution up into the night sky. Also, any building-mounted luminaries shall be attached to walls or soffits, and the top of the fixture shall not exceed the height of the roof. All proposed light fixtures shall be designed in a manner that is consistent with the overall design of the building and shall not disturb or create glare towards neighboring properties. In addition, any decorative uplighting, such as those that illuminate building facades or landscaping, shall be operated on timers that turn off illumination no later than 12 midnight, nightly. The Community Development Department shall review and approve all light fixtures prior to installation.
 13. Mechanical and Utility Equipment. All ground mounted mechanical and utility equipment, including but not limited to transformers, terminal boxes, risers, backflow devices, gas meters, electric meters, meter cabinets, and heating, ventilation, and air conditioning (HVAC) units shall be screened from public view and treated to match the materials and colors of the building. All Electrical service facilities and equipment on or adjacent to the site shall be planned and located, relocated or modified in a manner consistent with Southern California Edison Company guidelines to minimize human exposure to electromagnetic fields on the site and on adjacent properties, and with any other applicable requirements or guidelines of the California Public Utilities Commission or any other agency with jurisdiction, unless

otherwise specified by the Community Development Department. All mechanical and utility equipment locations and screening/treatment shall be approved by the Community Development Department prior to installation or modification.

14. Utilities. All utilities shall be located underground. The applicant shall comply with all applicable requirements or guidelines of any relevant utility company, the California Public Utilities Commission, or any other agency with jurisdiction, relating to construction and/or occupancy of structures in proximity to any over-head or underground utility lines which are adjacent to or extend through the subject property, unless otherwise specified by the Community Development Department. Applicant shall provide any utility easements as necessary.
15. Property Maintenance. The subject site and its immediate surrounding area shall be maintained in a clean, neat, quiet and orderly manner at all times and shall comply with the property maintenance standards as set forth in the San Fernando City Code.
16. Graffiti Removal. The property owner(s), operator and all successors shall comply with the graffiti removal and deterrence requirements of the San Fernando City Code. The property owner(s), operator and all successors shall provide for the immediate removal of any graffiti vandalism occurring on the property and, where applicable, the restoration of the surface on which the graffiti exists. Such restoration shall entail repainting or refinishing of the surface with a color or finish that matches the color or finish of the remaining portions of the structure being painted, and including treatment of the surface or site with measures to deter future graffiti vandalism as approved or required by the Community Development Department. Unless removed by the property owner or their designee within the specified time frame required by city code, property owner(s), operator and all successors shall grant the right of access to authorized agents of the City of San Fernando to remove graffiti from any surface on the property that is open and accessible from city property or public right-of-way, at the expense of the owner(s) or operator and all successors.
17. Site Inspections. Prior to the issuance of a Certificate of Occupancy, the Community Development Department and Public Works Department shall inspect the site to assure compliance with these Conditions of Approval. Subsequent to occupancy, owners and all successors shall grant the right of access to authorized agents of the City of San Fernando to conduct periodic inspections of the property.
18. Modifications. Unless the Community Development Department approves a proposed change to the approved plans, all other modifications to the development plan, including these Conditions of Approval, shall require review and approval by the Planning and Preservation Commission.
19. Encroachment Permit. Under no circumstances shall any public right-of-way be obstructed during construction by materials, vehicles, equipment or other related objects without prior approval from the City Engineer. An Encroachment Permit must be obtained from the Public Works Department prior to any demolition and/or new construction activity that would require staging and/or construction within the public right-of-way.
20. General Compliance. The applicant shall comply with all requirements of applicable federal, state, or local law, ordinance, or regulation.

21. Surface Runoff. All requirements of the National Pollutant Discharge Elimination System (NPDES) shall be complied with and an NPDES permit, including but not limited to the installation of any required clarifiers and/or on-site infiltration system, must be obtained prior to any occupation or use of the site. During construction, the project site shall comply with all applicable Best Management Practices (BMPs).
22. Construction Hours. Construction activity on Mondays through Fridays shall comply with the current San Fernando City Code standards for construction in residential zones. In addition, any construction on Saturday shall commence no earlier than 8:00 a.m.
23. Acceptance. Within thirty (30) days of approval of Variance 2011-08 and Site Plan Review 2011-10, the property owner(s) or their duly authorized representatives shall certify the acceptance of the conditions of approval or modifications thereto by signing a statement using an acceptance affidavit form provided by the Community Development Department that acknowledges acceptance and shall be bound by all of the conditions of project approval.
24. Recordation. Prior to the issuance of a Certificate of Occupancy, the applicant shall provide the Community Development Department with proof that the Conditions of Approval have been recorded with the Los Angeles Registrar Recorder/County Clerk's Office.
25. Expiration. Variance 2011-08 shall be subject to expiration and Site Plan Review 2011-10 shall become null and void unless exercised by submitting construction plans in application for a building permit within six (6) months of final approval or until such additional time as may be granted by the Community Development Department, upon receipt of a written request for an extension received prior to such expiration date. Subsequent failure to obtain and exercise an active building permit shall also cause expiration of the variance and site plan review.

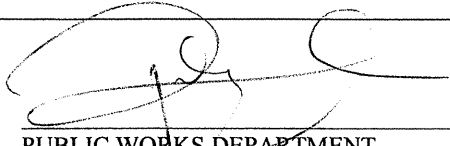
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CITY OF SAN FERNANDO PUBLIC WORKS DEPARTMENT
DEVELOPMENT / IMPROVEMENT REVIEW CHECK LIST
PROJECT: 2011-10 **Addition to SFR** **DATE: 9/9/11**

PROJECT ADDRESS: <u>1449 Pico St.</u>		REQUIRE?		COMPLIED?	COMMENTS
ITEM		YES	NO		
1.	Site plan must show:				
	a. Existing building or structure	✓			
	b. Existing public improvements (concrete sidewalk driveways, curbs and gutters, parkway trees, street lights, hydrants, etc.) including existing and proposed dimensions, square footage, etc.	✓			
	c. Existing utilities (gas, sewer, water, storm drains, catch basins, power poles).	✓			
2.	Submit offsite improvement plan.	✓			
3.	Prior to issuance of building permit:				
	a Pay sewer capital facility charge.	✓			Based on 2 bedroom addition: 2x \$391*= \$782*
	b Pay water capital facility charge.		✓		
	c Pay water service installation charge.		✓		
	d Pay fire service installation deposit.		✓		
	e Pay fire hydrant installation deposit.		✓		
	f Pay plan check fee (Offsite).		✓		
	g Pay inspection fee (Offsite).	✓			
	h Provide labor and material bond.		✓		
	i Provide performance bond.		✓		
4.	Is there existing sewer house connection to property?	✓			
5.	Is there existing water service to the property?	✓			
6.	Provide separate water service for each building or separate ownership.		✓		
7.	Provide separate sewer connection for each building.		✓		
8.	Underground all utilities to each unit/building.		✓		
9.	Cap off existing sewer connection that will no longer be used.		✓		
10.	Replace existing old and substandard water service.		✓		
11.	Upgrade existing substandard hydrant to 6-inch wet barrel hydrant (4"X 2.5" outlet).		✓		
12.	Install new hydrant per City standard.		✓		
13.	Satisfy City of Los Angeles Fire Dept. fire flow requirements.	✓			
14.	Provide City approved backflow device for the domestic water service and/or landscape irrigation, and provide proof that said equipment has been tested by a certified tester.		✓		
15.	Remove existing driveway approach that will no longer be used. Replace depressed curb.	✓			

PROJECT ADDRESS: 1449 Pico St.

ITEM	REQUIRE?		COMPLIED?	COMMENTS
	YES	NO		
16.	Construct PCC driveway approach 6-inch thick per City Standard.	✓		Remove existing driveway and reconstruct & align with new driveway.
17.	Construct wheel chair ramp per City Standard.		✓	
18.	Remove and replace broken/damaged/deteriorated concrete sidewalk adjacent to property.	✓		Approximately 50 s.f.
19.	Remove and replace broken curb/gutter adjacent to property.		✓	
20.	Plant parkway trees per City Standard and City Master Tree Plan.	✓		Provide visible groundcover/sod in parkway located on Pico St. Plant 3 parkway trees on Huntington Street. Species of trees shall be determined by Public Works department.
21.	Construct tree wells per City Standard with tree grates.		✓	
22.	A permit from the Public Works Dept. (Engineering Division) is required for all offsite improvements.	✓		
23.	All on-site pavement shall be minimum of 3-inch AC on 4 inch CAB or 6-inch PCC pavement without soil recommendation.		✓	
24.	Construct trash enclosure, nominal size 5 feet X 9 feet with PCC slab and 6-inch PCC curb with 6-inch PCC apron.		✓	
25.	Verify that clarifier/grease trap intercepts effluent before entry into the sewer lateral.		✓	
26.	Federal NPDES Requirements			
	a. Submit SWPPP Owners's Certification (form OC1 attached) that incorporates construction BMP's in compliance with Federal NPDES.	✓		
	b. Provide a SUSMP that incorporates design elements and facility BMP's in compliance with Federal NPDES.		✓	
27.	Comply with all applicable existing conditions of approval for the proposed development.	✓		
28.	Additional requirements: *Sewer and Water Capital and Installation fees are subject to change. The latest fee will be assessed prior to sign off for building permit.			


PUBLIC WORKS DEPARTMENT

DATE 9/8/11



Community Development Department
Building & Safety Division

MEMORANDUM

DATE: September 13, 2011

TO: Edgar Arroyo, Assistant Planner

FROM: Francisco J. Villalva, Building & Safety Supervisor

SUBJECT: Site Plan Review 2011-10: 1449 Pico Street

PROJECT DESCRIPTION: **A new 640 square foot 2nd floor addition above a new two-car garage and the main dwelling and a 1st floor addition**

The above reference proposed project as per plans submitted for site plan review is subject to the requirements as listed below. The requirements are preliminary and not final as additional requirements or corrections may follow during the building plan check process.

1. **REQUIREMENTS FOR GROUP R, DIVISION 3 OCCUPANCIES** - Per San Fernando Building Code Section 310.1 the proposed use of a portion of the building will be a two-story dwelling unit.
2. **REQUIREMENTS FOR GROUP U DIVISION 1 OCCUPANCIES**- Per San Fernando Building Code Section 312.1 the proposed use of a portion of the building will be a minimum of 20' x 19' attached garage.
3. **HEAT** – All dwelling units shall be provided with heating facilities capable of maintaining a room temperature of 70°F (21°C) at point 3 feet above the floor in all habitable rooms.
4. **NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES)**. Complete Form PC for storm water planning program priority project checklist.
5. **L. A. UNIFIED SCHOOL DISTRICT DEVELOPER FEE** – The fee is \$3.87 per square foot for new square footage of residential assessable area.
6. **PLAN CHECK REQUIRED** - Two (2) sets of plans and calculations with engineering stamp are required upon submitting for plan check as follows:
 - a. Site plan at standard size and an additional copy at 8 1/2" x 11".
 - b. Architectural Plans
 - c. Structural Plans
 - d. Mechanical Plan
 - e. Electrical Plan
 - f. Plumbing Plan

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ATTACHMENT 2:

Vicinity Map

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Google earth

VICINITY MAP
1449 PICO STREET

PROJECT SITE
1449 PICO STREET
APN: 2521-004-015

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ATTACHMENT 3:

Zoning Map

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SP-4

CELIS STREET

Google earth

R-2

PICO STREET

R-2

S. HUNTINGTON STREET

R-1

R-1

PICO STREET

PROJECT SITE
1449 PICO STREET
APN: 2521-004-015

ZONING MAP
1449 PICO STREET

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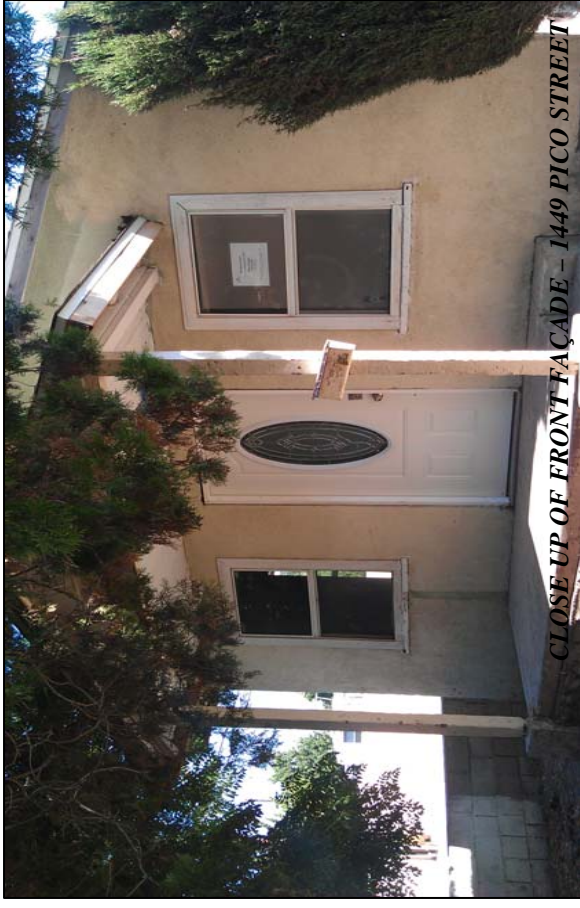
ATTACHMENT 4:

Project Site Photos

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FRONTAGE - 1449 PICO STREET

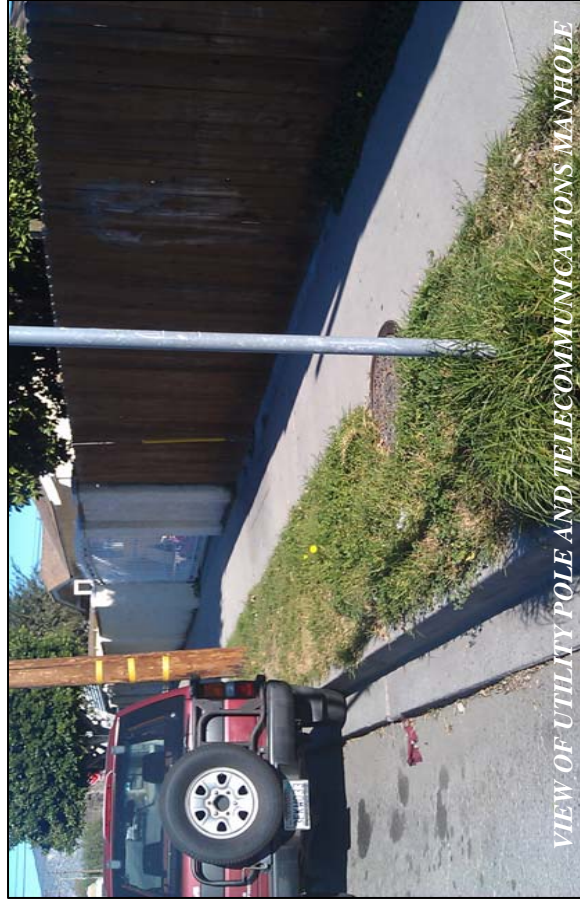


CLOSE-UP OF FRONT-FACADE - 1449 PICO STREET

SITE PHOTOS - 1449 PICO STREET



S. HUNTINGTON STREET VIEW - 1449 PICO STREET



VIEW OF UTILITY POLE AND TELECOMMUNICATIONS MANHOLE

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PHOTOS OF NEIGHBORING PROPERTIES

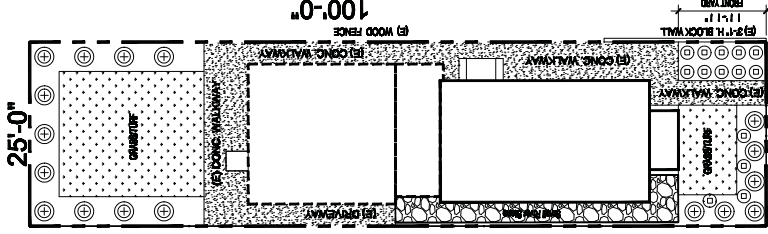


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ATTACHMENT 5:

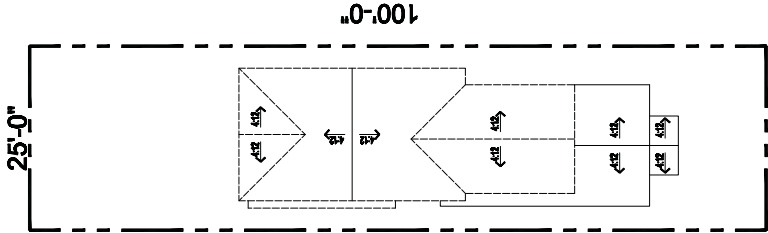
**Proposed Site Plan, Floor Plan,
and Elevations**

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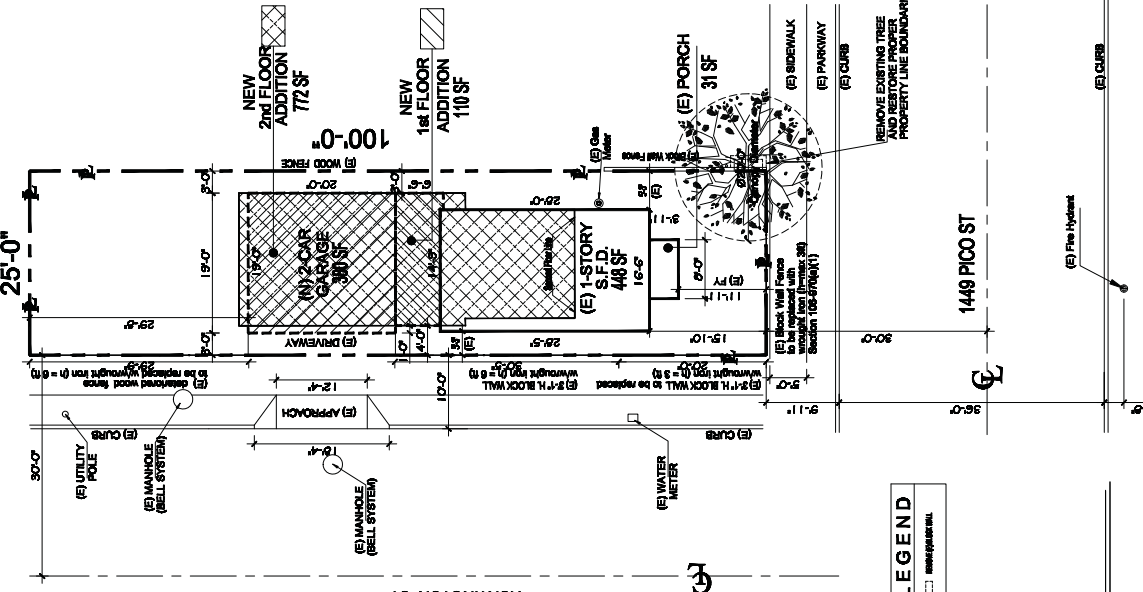


Landscape Plan
SCALE: 1/8"=1'-0"

PLANT LEGEND		SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
PERENNIAL HERBS		⊖	GERANIUM CALIFORNICUM	GERANIUM PRINCE		
SHRUBS		⊕	ROSA CALIFORNICUM	CALIFORNIA WILDOSE		
GROUND COVER		⊙	LAUREL LAMPELLA	LAUREL		
TREES		⊗	GRASS/TURF	MUST BE AT LEAST FIVE FEET IN WIDTH AND MUST BE WATER-EFFICIENT.		
DECIDUOUS TREE		⊗	TO BE SELECTED BY OWNER			

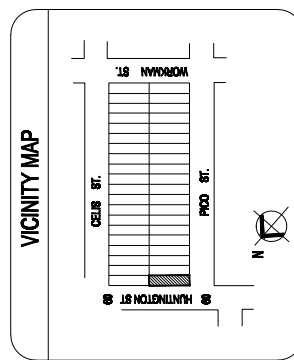


Roof Plan
SCALE: 1/8"=1'-0"



LEGEND
--- MOUND/GRASS WALL

Site Plan
SCALE: 1/8"=1'-0"



PROJECT STATISTICS:	
NET LOT SIZE (S):	2,000.00 SQ. FT.
(E) 1-STORY S.F. DWELLING:	448.00 SQ. FT.
(E) PORCH:	110.00 SQ. FT.
(E) 14-FLOOR DWELLING ADDITION:	110.00 SQ. FT.
(E) 2-CAR GARAGE:	300.00 SQ. FT.
(E) 2ND FLOOR DWELLING ADDITION:	772.00 SQ. FT.
(E) 30 SQFT IN CANTILEVER	
TOTAL DWELLING AREA:	1,300.00 SQ. FT.
LOT COVERAGE:	65.00 %
MAX PERMITTED COVERAGE:	1,000.00 SQ. FT.
MAX PERMITTED COVERAGE:	40.00 %

LEGAL DESCRIPTION:	
APR. 28th 19th 01st	
LEGAL DESCRIPTION:	
LOT 21 IN BLOCK 13 OF PORTERLAND AND TRACT:	
WATER CLOS RESURVEY OF TOWN OF SAN FERNANDO AS PER MAP RECORDED IN BOOK 14, PAGE 86 OF MISCELLANEOUS MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAN COUNTY.	

NOTE:
ALL UTILITIES SHALL BE LOCATED UNDERGROUND.
SAN FERNANDO CITY CODE, CHAP. 100, DIV. VI.

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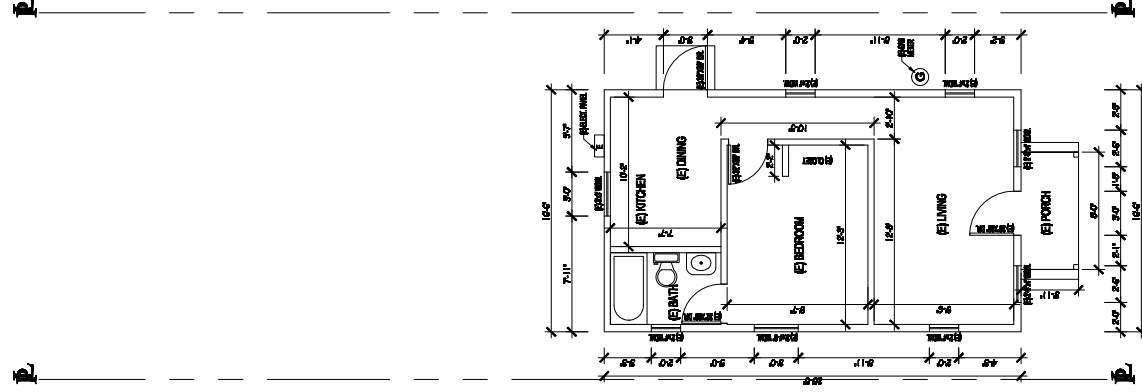
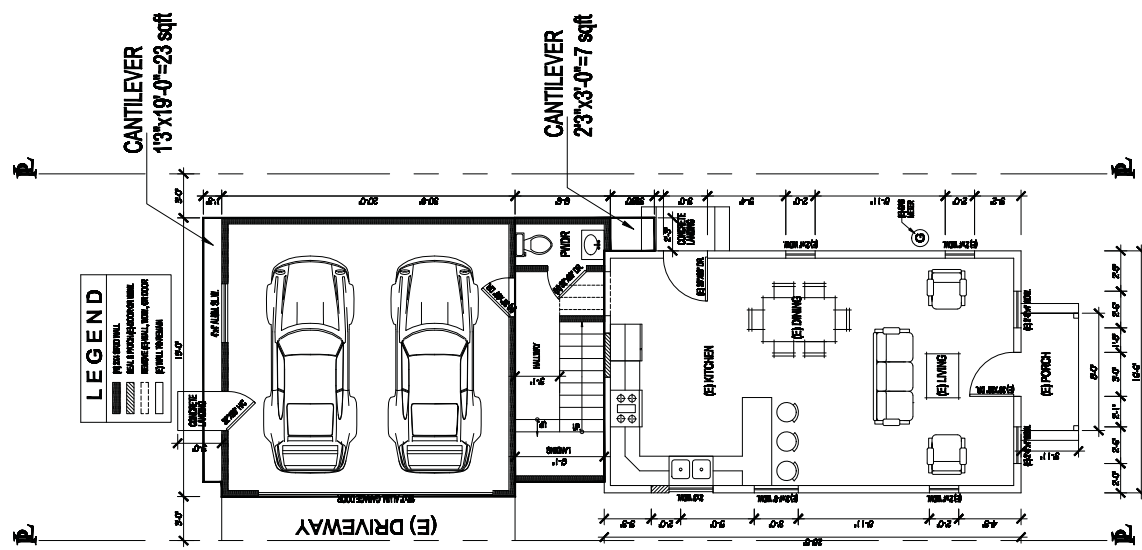
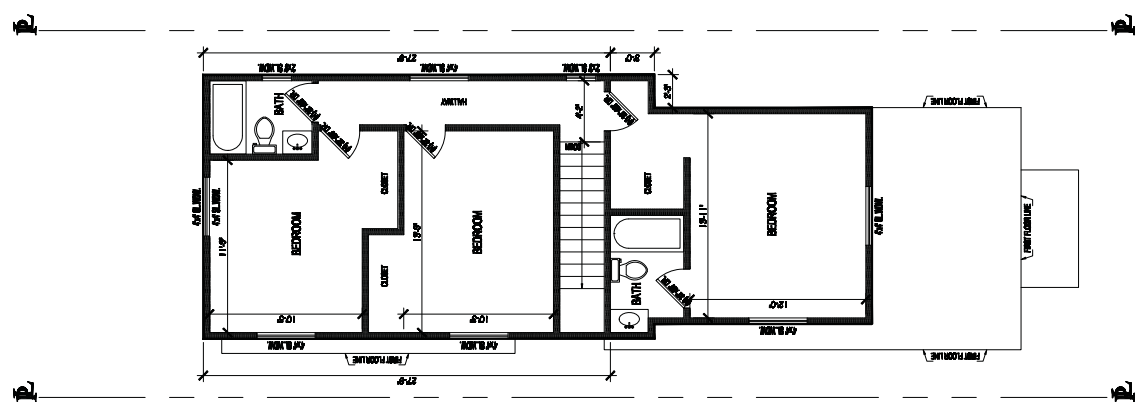
GENERAL NOTE:
 THESE PLANS AND ANY ATTACHED DOCUMENTS ARE WORK AND PROPERTY OF MCM LA-ENGINEERING, INC. WHICH SHALL NOW BE REFERRED TO AS THE COMPANY. THE DURATION AND USE OF THESE DOCUMENTS SHALL BE DONE ONLY WITH AN AGREEMENT AND WRITTEN CONSENT FROM THE COMPANY AND SHALL BE PERMANENT TO APPLICABLE LAWS. ANY ALTERATIONS OF THESE DOCUMENTS SHALL VOID THEIR USE IF NOT DONE WITH PERMISSION FROM THE COMPANY.

No.	Revision/Issue	Date

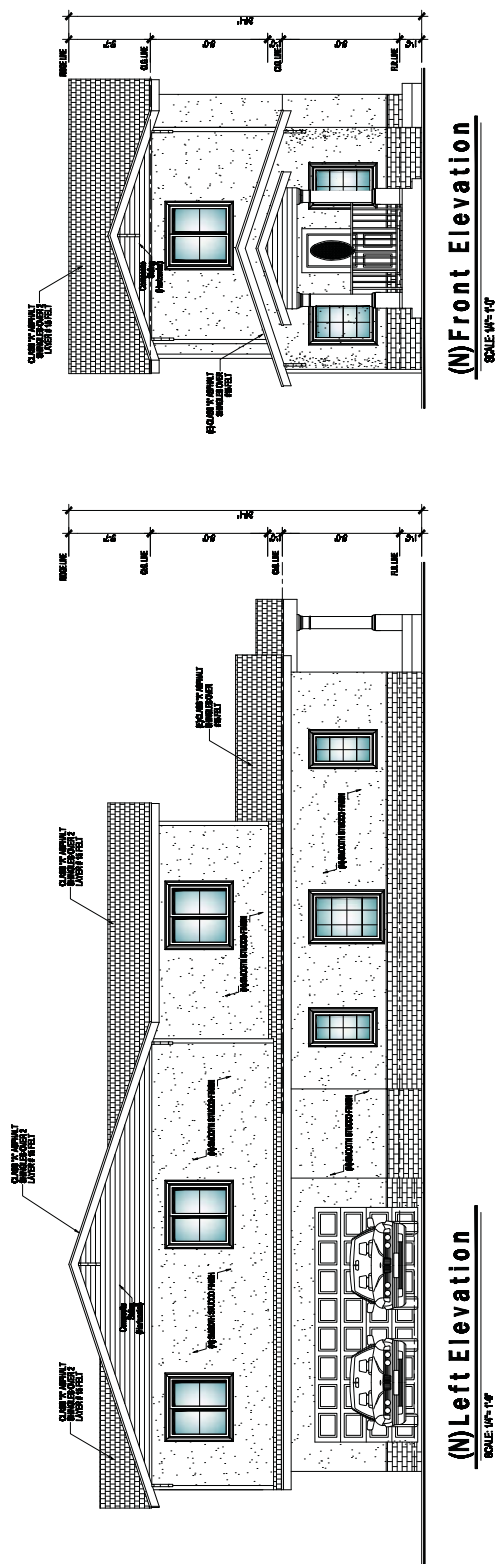
PROJECT LOCATION:
 1449 PICO ST.
 SAN FERNANDO
 CA 91340

OWNER:
 MOISES CARDENAS
JOB NO.:
 438

DATE:
 08-14-2021
BY:
 M. CARDENAS
SCALE:
 1/8"=1'-0"



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MEETING DATE: January 18, 2012

PUBLIC HEARING:

1. CHAIRPERSON TO OPEN THE ITEM AND REQUEST STAFF REPORT
2. STAFF PRESENTS REPORT
3. COMMISSION QUESTIONS ON STAFF REPORT
4. OPEN FOR PUBLIC HEARING
5. CLOSE PUBLIC HEARING
6. PLANNING AND PRESERVATION COMMISSION DISCUSSION
7. RECOMMENDED ACTION:

(a) **To Approve:**

“I move to approve Conditional Use Permit 2011-06 at 639 San Fernando Road, pursuant to Planning and Preservation Commission Resolution 2012-02 and conditions of approval attached as Exhibit “A” to the resolution (Attachment 1).

(b) **To Deny:**

“I move to deny Conditional Use Permit 2011-06 at 639 San Fernando Road, based on the following findings of fact...” (Roll Call Vote)

(c) **To Continue:**

“I move to continue consideration of Conditional Use Permit 2011-06 at 639 San Fernando Road, to a specific date...” (Roll Call Vote)

PUBLIC HEARING:

To Approve ()

To Deny ()

To Continue ()

Moved by: _____

Seconded by: _____

Roll Call: _____

Item 7B:

Conditional Use Permit 2011-06

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CITY OF SAN FERNANDO

PLANNING AND PRESERVATION COMMISSION STAFF REPORT

DATE: January 18, 2012

TO: SAN FERNANDO PLANNING AND PRESERVATION COMMISSION

FROM: Fred Ramirez, City Planner *FR*
Prepared by: Edgar Arroyo, Assistant Planner *EA*

SUBJECT: **Conditional Use Permit 2011-06**
639 San Fernando Road, San Fernando, CA, 91340 (APN: 2522-034-014)

PROPOSAL: The proposed project is a request for a conditional use permit to allow for administrative/professional offices pursuant to Section 2.8(A) of the development standards for the Auto-Commercial Sub-District at 639 San Fernando Road. The requested conditional use permit would allow for a financing company to operate at the property while discontinuing the existing legal nonconforming use of the site as a used automobile dealership. The subject property is an approximately 5,920-square-foot lot located along the 600 block of San Fernando Road, between Fox Street and Wolfskill Street, within the Truman/San Fernando District of the SP-4 (Corridors Specific Plan) zone and Redevelopment Project Area No. 2.

APPLICANT(s): Joseph P. Mullen, Mullen Bros., Inc., 840 W. Glenoaks Boulevard, Glendale, CA 91202

RECOMMENDATION:

Staff recommends that the Planning and Preservation Commission approve Conditional Use Permit 2011-06 pursuant to Planning and Preservation Commission Resolution 2012-02 and the conditions of approval attached as Exhibit "A" to the resolution (Attachment 1).

PROJECT OVERVIEW:

On November 30, 2011, Miguel Aguilar, on behalf of Joseph P. Mullen, the applicant for the project, submitted a Conditional Use Permit (CUP) application to adaptively reuse the site of a former used automotive dealership located at 639 San Fernando Road for office uses, pursuant to Section 2.8(A) of the development standards for the Truman/San Fernando District of the SP-4 (Corridors Specific Plan) zone. The requested CUP would allow for the project site to be used as the office of a financing company and any additional similar and compatible administrative, professional, and government office uses and workplace studios uses.

The proposed project would include a variety of physical improvements that would help eliminate the blighted appearance of the site. As part of the project, the existing chain-link style fence with an attached green mesh screen along the frontage of the property would be removed. The parking lot of the site would be repaved and restriped to provide adequate parking stall dimensions, vehicular back-out distance, and driveway aisle width, as required by the city's adopted parking standards (City Code Section 106-821, et seq.). In addition, the site would be further improved by providing raised landscape planters along the perimeter of the parking lot and along the front setback to improve the aesthetic appearance of the site. All existing and deteriorated light standards would be replaced with new decorative light standards and fixtures, as noted on "Sheet A-2" of the set of plans for the project (Attachment 5).

BACKGROUND:

1. **Zoning, General Plan, and Redevelopment Plan Designation:** The project site is located within the Truman/San Fernando District (Auto-Commercial Sub-District) of the SP-4 (Corridors Specific Plan) land use and zone. Additionally, the project site is located within Redevelopment Project Area No. 2 of the city's Amended Redevelopment Plan.
2. **Site Location and Description:** The subject property is an approximately 5,920-square-foot lot located along the 600 block of San Fernando Road, between Fox Street and Wolfskill Street. The project site is currently improved with a 314-square-foot commercial building with an attached carport that was formerly utilized by the former used automobile dealership. The site is bound by similar and compatible commercial uses within the SP-4 (Corridors Specific Plan) zone.
3. **Environmental Review:** This project has been reviewed for compliance with the California Environmental Quality Act (CEQA). It is staff's assessment that this project proposal qualifies for a Categorical Exemption under Class 1 (Existing Facilities) of San Fernando's CEQA Guidelines. If the Planning and Preservation Commission concurs with staff's determination, no further environmental assessment is necessary.
4. **Legal Notification:** On January 5, 2012, the public hearing notice was posted at two City Hall bulletins, at the County Public Library bulletin, and at the project site. A notice was also published in the January 5, 2012, legal advertisement section of the *San Fernando Valley Sun* and on the on-line version of the *San Fernando Valley Sun*. In addition, notices of this hearing were mailed to all property owners of record within 500 feet of the subject site.

ANALYSIS:

1. **General Plan and Zoning Consistency.** The proposed change of use of the project site from an used automobile dealership to an office use consisting of a financing company is
-

consistent with the following goals and objectives of the San Fernando General Plan Land Use Element by:

- ✓ Retaining the small town character of San Fernando;
- ✓ Promoting economic viability of commercial areas;
- ✓ Maintaining an identity that is distinct from surrounding communities; and,
- ✓ Attracting new commercial activities.

(San Fernando General Plan Land Use Element Goals I-IV, Pg. IV-6)

It is staff's assessment that the proposed occupancy and site improvements are consistent with the development standards for the Truman/San Fernando District of the *San Fernando Corridors Specific Plan*. These standards seek to promote compatible building and site design that improves the visual quality of the surrounding area through aesthetically pleasing site planning, building design, and landscape architecture. The proposed adaptive reuse of the former used automobile dealership as a financing company would improve the project site with the proposed site improvements. The site improvements include perimeter landscaping, repaving of the parking lot, installation of new decorative light standards, and new decorative fencing along the front setback of the property and a decorative wall along the sides.

2. **Redevelopment Plan Consistency.** The project site at 639 San Fernando Road is located within Redevelopment Project Area No. 2. The proposed change of use of the project site from an used automobile dealership to an office use consisting of a financing company is consistent with the following goals and objectives of the Amended Redevelopment Plan for the city's Redevelopment Project Areas by:

- ✓ Encouraging private sector investment;
- ✓ Promoting commercial development by the prevention and the elimination of blight;
- ✓ Upgrading the physical appearance of the Redevelopment Project Area No. 2;
- ✓ Encouraging commercial rehabilitation; and,
- ✓ Encouraging the redevelopment of land by private enterprise.

*(San Fernando Amended Redevelopment Plan
Report to Council: Goals and Objectives, Pg. III-9)*

It is staff's assessment that the proposed improvements are consistent with the redevelopment goals and objectives, which seek to encourage private investment and the rehabilitation of commercial property. Furthermore, the proposed site improvements would upgrade the physical appearance of the property and Redevelopment Project Area No. 2

3. **Parking Analysis.** The amount of parking required for the proposed office use at the project site is determined by the floor area of the structure that is to be occupied. Pursuant to Section 8.1(A) of the development standards for the Truman/San Fernando District, one parking space is required for every 400 square feet of floor area for administrative, professional, and government office uses and workplaces studios. The amount of parking required for the proposed project is as follows:
-

<u>Project</u>	<u>Total Required Parking</u>
Administrative, professional, and government offices: (Including workplace studios)	1 parking space
314 square foot building/One space @ 400 square feet	
	<u>Total Proposed Parking</u>
	5 standard spaces
	<u>1 handicap accessible space</u>
	6 parking spaces

As proposed, the project would provide a surplus of five parking spaces over the amount required for the site. In addition, the parking lot will be improved with landscaping along the perimeter in conformance with the development standards for the Truman/San Fernando District to upgrade the physical appearance of the site. Also, adequate driveway aisle and vehicular back-out dimensions would be maintained by providing a driveway that is 26 feet and six inches in width, exceeding the 24-foot minimum that is required. Therefore, it is staff's assessment that the project would comply with the development standards related to parking.

4. **Conditional Use Permit.** As the name implies, a Conditional Use Permit (CUP) allows a city the ability to consider specified uses that might not otherwise be allowed as a principally permitted use, provided the landowner or applicant meets certain conditions of approval. In this respect, the state zoning law is silent on establishing any criteria for issuing or denying a CUP. That is left up to local ordinance. As a result, design criteria of the project plays a major role in the decision making process.

The basic goal of the CUP is to allow the full range of land uses required for a community to function, while still giving the community some control over individual situations that could cause land use incompatibilities or negative environmental impacts. Although often dealing with the operating conditions of a business, rather than its underlying land use, CUPs are important to California land use planning because it allows the Planning and Preservation Commission to review the potential impacts associated with the discretionary review of the proposed application.

The conditional use permit process is required and aids in determining whether the proposed land use should be permitted by weighing the public need for and the benefit to be derived from the land use against the impacts that it may cause. Additionally, this discretionary approval process aims to ensure that the proposal is consistent with the city's general plan land use policies and zoning standards, provides for quality site design, layout and architecture, and promotes a rational design transition within the immediate surroundings.

A CUP is subject to discretionary review by the Planning and Preservation Commission. Discretionary review is a process that permits the commission to review individual cases for proposed uses of the land and either attach conditions or deny approval. Conditions

imposed on the applicant through the discretionary review process may call for anything reasonably related to preventing potential impacts that might be associated with the project's proposed use.

The approval/denial of a CUP is based on the commission's ability to be reasonably satisfied with the project and that it possesses certain characteristics that are identified in the form of ten findings of fact. All findings must be justified and upheld in the affirmative for approval of a CUP; only one (1) finding requires a negative response to uphold a denial.

If the commission concurs with staff's assessment, it would be the commission's determination that the findings for approval of the conditional use permit could be made in this instance based on the aforementioned discussion, and as explained below.

- **The proposed use is one conditionally permitted within the subject zone and complies with all applicable sections of this chapter.**

The proposed use of the project site for administrative/professional office uses is a conditionally permitted use within the Auto-Commercial Sub-District of the SP-4 (Corridors Specific Plan) zone. The requested conditional use permit would allow for the adaptive reuse of a former used automobile dealership by an office use consisting of a financing company, pursuant to Section 2.8(A) of the development standards for the Auto-Commercial Sub-District.

Additionally, the proposed project would incorporate landscaping and parking lot improvements that will bring the property in compliance with the applicable development standards for the sub-district. Along with those improvements, new decorative wrought-iron style fencing and a decorative block wall will be built to replace the existing deteriorated chain-link fence along the perimeter of the property. A new trash enclosure would be located at the rear of the property, away from direct public view as seen from the street right-of-way. The proposed improvements help enhance the physical appearance of the site and the character of the surrounding commercial district. Thus, it is staff's assessment that this finding can be made.

- **The proposed use would not impair the integrity and character of the zone in which it is to be located.**

The proposed adaptive use of the existing 314-square-foot building for a financing company would incorporate physical improvements to the project site that will upgrade its appearance and improve the character of the Auto-Commercial Sub-District. The proposed office use would allow for the discontinuation of the existing non-conforming use of the site by a used automobile dealership. The proposed office use would provide for the continued use of the site in a manner that is consistent with intent of the Truman/San Fernando District of the SP-4 (Corridors Specific Plan) zone. The purpose of the District is to provide a cohesive area in the city that supports commercial uses, including office uses. Additionally, the proposed on-site

landscaping, fencing, and parking lot improvements help by upgrading the quality of commercial activities within the sub-district by incorporating site design features that are sought by the development standards and design guidelines.

It is staff's assessment that these proposed improvements to the site, subject to the applicable conditions of approval, would be consistent with the requirements of the Corridors Specific Plan and would significantly enhance the site without impairing the integrity and character of the SP-4 zone. Thus, it is staff's assessment that this finding can be made.

- **The subject site is physically suitable for the type of land use being proposed.**

The project site at 639 San Fernando Road is an approximately 5,920-square-foot site formerly occupied by a used automotive dealership. Pursuant to Section 2.8(A) of the development standards for the Truman/San Fernando District (the "District"), administrative, professional, and government offices and workplace studios are conditionally permitted uses. The project site is physically suitable for the proposed office use as a financing company by being able to comply with all applicable development standards for properties within the District. As proposed, the project would exceed the required parking for the site by providing a total of six parking spaces. In addition, landscaping will be installed along the perimeter of the parking lot, deteriorated light standards will be replaced, and the existing chain-link fence would be removed and replaced with a decorative wrought-iron style fence setback at 15 feet from the property line.

The proposed site improvements would upgrade the physical appearance of the site without impairing ingress and egress to the property. Thus, it is staff's assessment that this finding can be made.

- **The proposed use is compatible with land uses presently on the subject property.**

The proposed CUP to allow an office use at the project site would allow for the adaptive reuse of the property by discontinuing the former non-conforming use of the site as a used automobile dealership. The proposed office use would introduce a use that is conditionally permitted pursuant Section 2.8(A) of the development standards for the Auto-Commercial Sub-District. The proposed office use as a financing company is compatible to those uses in the vicinity and that exist within the sub-district.

The proposed office use would provide for the continued use of the site in a manner that is consistent with the intent of the Truman/San Fernando District of the SP-4 (Corridors Specific Plan) zone. Thus, it is staff's assessment that this finding can be made.

- **The proposed use would be compatible with the existing and future land uses within the zone and the general area in which the proposed use is to be located.**

The project site is located within the Auto Commercial Sub-District of the SP-4 (Corridors Specific Plan) zone. The development standards allow for administrative, professional, and government offices and workplace studios to be established within the sub-district, pursuant Section 2.8(A). In addition, the area in close proximity to the project site is developed with a range of commercial uses consisting of retail sales, office, and service commercial uses.

The operation of the proposed office use consisting of a financing company at the project site is consistent with the existing and future land use patterns within the sub-district and surrounding area. Also, the proposed site improvements would upgrade the physical appearance of the site, remedy all blighted conditions, and bring the property into compliance with all applicable property development standards. Thus, it is staff's assessment that this finding can be made.

- **There would be adequate provisions for water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety.**

The project site and proposed office use would be adequately served by existing water, sanitation, and public utilities that were developed for the project site when it was originally built. Any infrastructure and utility upgrades that are necessary for the proposed use would be made by the project developer in compliance with the requirements of the city's current building codes and any additional requirements from the Community Development Department and Public Works Department. Additionally, a new trash enclosure would be constructed at the rear of the property in a location easily accessible to sanitation personnel from the driveway of the parking lot. Therefore, there would be adequate provisions for water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety. Thus, it is staff's assessment that this finding can be made.

- **There would be adequate provisions for public access to serve the subject proposal.**

The proposed project would maintain adequate public and emergency access to the site through an existing two-way vehicular driveway along San Fernando Road. In addition, the proposed trash enclosure at the rear of the property would have direct access from the parking lot by sanitation personnel. Handicap accessible parking would be provided on-site and in close proximity to the building, with a five-foot path of travel to the building's entrance. Therefore, the project would provide adequate provisions for public access to serve the proposed office use. Thus, it is staff's assessment that this finding can be made.

- **The proposed use would be appropriate in light of an established need for the use at the proposed location.**

The proposed CUP to allow an office use at the project site is consistent with the pattern of development established within the Auto Commercial Sub-District of the SP-4 (Corridors Specific Plan) zone. As part of the development standards for the sub-district, administrative, professional, and government offices and workplace studios are conditionally permitted uses pursuant to Section 2.8(A).

The adaptive reuse of the site would allow for the continuation of commercial activity at the site with uses that are compatible with those that currently exist within the sub-district and along San Fernando Road. In addition, the proposed new office use would enable the former non-conforming use of the site as a used automobile dealership to be discontinued. Thus, it is staff's assessment that this finding can be made.

- **The proposed use is consistent with the objectives, policies, general land uses and programs of the City's general plan.**

The proposed CUP to adaptively reuse the project site at 639 San Fernando Road for administrative, professional, and government offices and workplace studios office is consistent with the goals and objectives of the San Fernando General Plan Land Use Element.

The project will retain the small town character of the city by adaptively reusing an existing structure and providing site improvements at a scale that is consistent with existing development in the vicinity. The new office use at the site allows for new commercial activities within the city's commercial areas while eliminating physical blight and discontinuing incompatible existing nonconforming uses at the site. Therefore, the proposed office use at the site is consistent with the objectives, policies, general land uses and programs of the San Fernando General Plan. Thus, it is staff's assessment that this finding can be made.

- **The proposed use would not be detrimental to the public interest, health, safety, convenience or welfare.**

The approval of a CUP to allow for office uses at the project site will not be detrimental to the public interest, health, safety, convenience or welfare. The proposed site improvements would upgrade the physical appearance of the site while bringing the property into compliance with all applicable development and site design standards, as is sought for properties within the Truman/San Fernando District. In addition, the new office use would allow for the existing nonconforming use of the site by a used automobile dealership to be discontinued. The proposed office use would provide for the continued operation of the site in a manner that is consistent with intent of the Truman/San Fernando District. Thus, it is staff's assessment that this finding can be made.

CONCLUSION:

In light of the forgoing analysis, it is staff's assessment that the requested conditional use permit to allow for administrative/professional offices, with all proposed physical improvements at 639 San Fernando Road, would significantly improve the subject property in a manner consistent with the city's general plan goals and objectives, and the development standards and design guidelines for the Truman/San Fernando District of the SP-4 (Corridors Specific Plan) zone.

Therefore, staff recommends that the Planning and Preservation Commission approve Conditional Use Permit 2011-06 pursuant to Planning and Preservation Commission Resolution 2012-02 and conditions of approval attached as Exhibit "A" to the resolution (Attachment 1).

ATTACHMENTS (5):

1. Planning and Preservation Commission Resolution 2012-02 and Exhibit "A": Conditions of Approval
 2. Vicinity Map
 3. Zoning Map
 4. Project Site Photos
 5. Proposed Site Plan, Floor Plan, and Elevations
-

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ATTACHMENT 1:

**Planning and Preservation Commission
Resolution 2012-02 and
Exhibit “A”: Conditions of Approval**

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RESOLUTION NO. 2012-02

A RESOLUTION OF THE PLANNING AND PRESERVATION COMMISSION OF THE CITY OF SAN FERNANDO APPROVING CONDITIONAL USE PERMIT 2011-06 TO ALLOW FOR ADMINISTRATIVE/PROFESSIONAL OFFICES AT 639 SAN FERNANDO ROAD.

WHEREAS, an application has been filed by Joseph P. Mullen with the city requesting approval of a conditional use permit to allow for administrative/professional offices within an existing 314-square-foot commercial building, pursuant to Section 2.8(A) of the development standards for the Auto-Commercial Sub-District. The subject property is an approximate 5,920-square-foot lot located at 639 San Fernando Road, within the Truman/San Fernando District of the SP-4 (Corridors Specific Plan) zone; and

WHEREAS, the Planning and Preservation Commission has considered all of the evidence presented in connection with the project, written and oral at the public hearing held on the 18th day of January 2012.

NOW, THEREFORE, BE IT RESOLVED that the Planning and Preservation Commission finds as follows:

SECTION 1: This project has been reviewed for compliance with the California Environmental Quality Act (CEQA). It is staff's assessment that this project proposal qualifies for a Categorical Exemption under Class 1 (Existing Facilities) of San Fernando's CEQA Guidelines; and

SECTION 2: The proposed project and provisions for its design and improvements are consistent with the objectives, policies, and general land uses and programs provided in the City's General Plan; and

SECTION 3: Pursuant to City Code §106-145, the Planning and Preservation Commission finds that the following findings for Conditional Use Permit 2011-06 have been justified and upheld in the affirmative because of the recommended conditions of approval regarding operating procedures, site improvements and on-site and off-site safety measures. The Planning and Preservation Commission findings are as followed:

- 1) The proposed use is one conditionally permitted within the subject zone and complies with all applicable sections of this chapter.**

The proposed use of the project site for administrative/professional office uses is a conditionally permitted use within the Auto-Commercial Sub-District of the SP-4 (Corridors Specific Plan) zone. The requested conditional use permit would allow for the adaptive reuse of a former used automobile dealership by an office use consisting of a financing company, pursuant to Section 2.8(A) of the development standards for the Auto-Commercial Sub-District.

Additionally, the proposed project would incorporate landscaping and parking lot improvements that will bring the property in compliance with the applicable development standards for the sub-district. Along with those improvements, new decorative wrought-iron style fencing and a decorative block wall will be built to replace the existing deteriorated chain-link fence along the perimeter of the property. A new trash enclosure would be located at the rear of the property, away from direct public view as seen from the street right-of-way. The proposed improvements help enhance the physical appearance of the site and the character of the surrounding commercial district. Thus, it is the commission's assessment that this finding can be made in this case.

2) The proposed use would not impair the integrity and character of the zone in which it is to be located.

The proposed adaptive use of the existing 314-square-foot building for a financing company would incorporate physical improvements to the project site that will upgrade its appearance and improve the character of the Auto-Commercial Sub-District. The proposed office use would allow for the discontinuation of the existing non-conforming use of the site by a used automobile dealership. The proposed office use would provide for the continued use of the site in a manner that is consistent with intent of the Truman/San Fernando District of the SP-4 (Corridors Specific Plan) zone. The purpose of the District is to provide a cohesive area in the city that supports commercial uses, including office uses. Additionally, the proposed on-site landscaping, fencing, and parking lot improvements help by upgrading the quality of commercial activities within the sub-district by incorporating site design features that are sought by the development standards and design guidelines.

It is the commission's assessment that these proposed improvements to the site, subject to the applicable conditions of approval, would be consistent with the requirements of the Corridors Specific Plan and would significantly enhance the site without impairing the integrity and character of the SP-4 zone. Thus, it is the commission's assessment that this finding can be made in this case.

3) The subject site is physically suitable for the type of land use being proposed.

The project site at 639 San Fernando Road is an approximately 5,920-square-foot site formerly occupied by a used automotive dealership. Pursuant to Section 2.8(A) of the development standards for the Truman/San Fernando District (the "District"), administrative, professional, and government offices and workplace studios are conditionally permitted uses. The project site is physically suitable for the proposed office use as a financing company by being able to comply with all applicable development standards for properties within the District. As proposed, the project would exceed the required parking for the site by providing a total of six parking spaces. In addition, landscaping will be installed along the perimeter of the parking lot, deteriorated light standards will be replaced, and the existing chain-link fence would be removed and replaced with a decorative wrought-iron style fence setback at 15 feet from the property line.

The proposed site improvements would upgrade the physical appearance of the site without impairing ingress and egress to the property. Thus, it is the commission's assessment that this

finding can be made in this case.

4) The proposed use is compatible with land uses presently on the subject property.

The proposed CUP to allow an office use at the project site would allow for the adaptive reuse of the property by discontinuing the former non-conforming use of the site as a used automobile dealership. The proposed office use would introduce a use that is conditionally permitted pursuant Section 2.8(A) of the development standards for the Auto-Commercial Sub-District. The proposed office use as a financing company is compatible to those uses in the vicinity and that exist within the sub-district.

The proposed office use would provide for the continued use of the site in a manner that is consistent with the intent of the Truman/San Fernando District of the SP-4 (Corridors Specific Plan) zone. Thus, it is the commission's assessment that this finding can be made in this case.

5) The proposed use would be compatible with the existing future land uses within the zone and the general area in which the proposed use is to be located.

The project site is located within the Auto Commercial Sub-District of the SP-4 (Corridors Specific Plan) zone. The development standards allow for administrative, professional, and government offices and workplace studios to be established within the sub-district, pursuant Section 2.8(A). In addition, the area in close proximity to the project site is developed with a range of commercial uses consisting of retail sales, office, and service commercial uses.

The operation of the proposed office use consisting of a financing company at the project site is consistent with the existing and future land use patterns within the sub-district and surrounding area. Also, the proposed site improvements would upgrade the physical appearance of the site, remedy all blighted conditions, and bring the property into compliance with all applicable property development standards. Thus, it is the commission's assessment that this finding can be made in this case.

6) There would be adequate provisions for water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety.

The project site and proposed office use would be adequately served by existing water, sanitation, and public utilities that were developed for the project site when it was originally built. Any infrastructure and utility upgrades that are necessary for the proposed use would be made by the project developer in compliance with the requirements of the city's current building codes and any additional requirements from the Community Development Department and Public Works Department. Additionally, a new trash enclosure would be constructed at the rear of the property in a location easily accessible to sanitation personnel from the driveway of the parking lot. Therefore, there would be adequate provisions for water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety. Thus, it is the commission's assessment that this finding can be made in this case.

7) There would be adequate provisions for public access to serve the subject proposal.

The proposed project would maintain adequate public and emergency access to the site through an existing two-way vehicular driveway along San Fernando Road. In addition, the proposed trash enclosure at the rear of the property would have direct access from the parking lot by sanitation personnel. Handicap accessible parking would be provided on-site and in close proximity to the building, with a five-foot path of travel to the building's entrance. Therefore, the project would provide adequate provisions for public access to serve the proposed office use. Thus, it is the commission's assessment that this finding can be made in this case.

8) The proposed use would be appropriate in light of an established need for the use at the proposed location.

The proposed CUP to allow an office use at the project site is consistent with the pattern of development established within the Auto Commercial Sub-District of the SP-4 (Corridors Specific Plan) zone. As part of the development standards for the sub-district, administrative, professional, and government offices and workplace studios are conditionally permitted uses pursuant to Section 2.8(A).

The adaptive reuse of the site would allow for the continuation of commercial activity at the site with uses that are compatible with those that currently exist within the sub-district and along San Fernando Road. In addition, the proposed new office use would enable the former non-conforming use of the site as a used automobile dealership to be discontinued. Thus, it is the commission's assessment that this finding can be made in this case.

9) The proposed use is consistent with the objectives, policies, general land uses and programs of the City's general plan.

The proposed CUP to adaptively reuse the project site at 639 San Fernando Road for administrative, professional, and government offices and workplace studios office is consistent with the goals and objectives of the San Fernando General Plan Land Use Element.

The project will retain the small town character of the city by adaptively reusing an existing structure and providing site improvements at a scale that is consistent with existing development in the vicinity. The new office use at the site allows for new commercial activities within the city's commercial areas while eliminating physical blight and discontinuing incompatible existing nonconforming uses at the site. Therefore, the proposed office use at the site is consistent with the objectives, policies, general land uses and programs of the San Fernando General Plan. Thus, it is the commission's assessment that this finding can be made in this case.

10) The proposed use would not be detrimental to the public interest, health, safety, convenience or welfare.

The approval of a CUP to allow for office uses at the project site will not be detrimental to the public interest, health, safety, convenience or welfare. The proposed site improvements would

upgrade the physical appearance of the site while bringing the property into compliance with all applicable development and site design standards, as is sought for properties within the Truman/San Fernando District. In addition, the new office use would allow for the existing nonconforming use of the site by a used automobile dealership to be discontinued. The proposed office use would provide for the continued operation of the site in a manner that is consistent with intent of the Truman/San Fernando District. Thus, it is the commission's assessment that this finding can be made in this case.

BE IT FURTHER RESOLVED that based upon the foregoing, the Planning and Preservation Commission hereby approves Conditional Use Permit 2011-06, subject to the conditions of approval attached as Exhibit "A".

PASSED, APPROVED AND ADOPTED this 18th day of January 2012.

JULIE CUELLAR, CHAIRPERSON

ATTEST:

FRED RAMIREZ, SECRETARY TO THE PLANNING
AND PRESERVATION COMMISSION

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) ss
CITY OF SAN FERNANDO)

I, FRED RAMIREZ, Secretary to the Planning and Preservation Commission of the City of San Fernando, do hereby certify that the foregoing Resolution was duly adopted by the Planning and Preservation Commission and signed by the Chairperson of said City at a meeting held on the 18th day of January 2012; and that the same was passed by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

FRED RAMIREZ, SECRETARY TO THE PLANNING AND
PRESERVATION COMMISSION

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EXHIBIT “A”
CONDITIONS OF APPROVAL

PROJECT NO. : **Conditional Use Permit 2011-06**

PROJECT ADDRESS : 639 San Fernando Road (APN: 2522-034-014)

PROJECT DESCRIPTION : The proposed project is a request for a conditional use permit to allow for administrative/professional pursuant to Section 2.8(A) of the development standards for the Auto-Commercial Sub-District at 639 San Fernando Road. The requested conditional use permit would allow for a financing company to operate its offices at the property while discontinuing the existing legal nonconforming use of the site as a used automobile dealership. The subject property is an approximately 5,920-square-foot lot located along the 600 block of San Fernando Road, between Fox Street and Wolfskill Street, within the Truman/San Fernando District of the SP-4 (Corridors Specific Plan) zone and Redevelopment Project Area No. 2.

The following conditions shall be made a part of the approval of the project, and shall be complied with in their entirety, as determined by the Community Development Department:

1. Conditional Use Permit Entitlement. The conditional use permit is granted for the land described in this application and any attachments thereto, as reviewed by the Planning and Preservation Commission on January 18, 2012, except as herein modified to comply with these Conditions of Approval.
2. Occupancy per Approval. The subject property shall be improved in substantial conformance with the plans, as reviewed by the Planning and Preservation Commission on January 18, 2012, except as herein modified to comply with these Conditions of Approval.
3. Attached Memorandum. The applicant shall comply with the requirements as listed in the attached Building and Safety Memorandum (See “Attachment 1” of these Conditions of Approval).
4. Construction Plans. A copy of the Conditions of Approval shall be printed on the final building plans submitted to the Community Development Department prior to the issuance of a building permit for the conversion of the structure from a used automobile dealership to an administrative office.
5. Building Code Requirements. The applicant shall comply with all applicable building and construction requirements of the City of San Fernando’s building codes, as specified by the city’s Community Development Department.
6. Parking. All on-site parking spaces shall comply with the parking regulations of the San Fernando City Code for design and minimum dimension (i.e.- wheel stops, double striping, back out space, turning radius). All on-site parking spaces, parking space and surface striping, drive aisles, and parking area paving shall be maintained unobstructed and the surface maintained in good condition. Any physical

deterioration of the asphalt pavement within the parking area on project parcels shall be repaired to the satisfaction of the Community Development Department.

7. Landscape. All proposed on-site and off-site plantings shall be kept in a healthy and growing condition, consistent with the design of a landscape and irrigation plan approved by the Community Development Department. Fertilization, cultivation, tree pruning shall be a part of regular maintenance. Good horticultural practices shall be followed in all instances. The landscape design shall be further refined as necessary to improve the level of design quality by focusing on important design principles. Further landscape design refinements shall address, but not be limited to, the following:
 - a) The landscaping shall be provided with an appropriate low-maintenance landscape design and material selection that is attractive, durable and drought-tolerant. All proposed landscape shall be arranged to emphasize visual attractiveness as viewed from the public right-of-way. To achieve a maximum visual impact and soften the appearance of exterior building walls, the landscape plan shall incorporate mature plants that are planted at high densities;
 - b) All proposed landscaped areas shall be served by well-balanced automatic irrigation system operated by an electrically timed controller station set for early morning irrigation and maintained in a manner consistent with the approved landscape plan. The final landscape/irrigation plan shall identify the size and location of all landscape materials and irrigation equipment. Water conservation measures shall be incorporated in the irrigation plan;
 - c) The landscape plan shall provide specifications for the following: design of hardscape elements, including pedestrian walkways, paved areas, common areas, seating, landscape planters, lighting, etc.; planting materials, including, trees, shrubs, ground cover, grass, miscellaneous plant materials, landscape containers and soil preparation; and, automatic irrigation plans, including materials and details; and,
 - d) A backflow preventer device shall be installed, tested, and inspected by the Public Works Department to protect water supplies from contamination or pollution.
8. Trash Enclosure. The trash enclosure shall be arranged both for convenience to the tenants and for convenient vehicular access and pickup. The trash enclosure shall include decorative obscured doors with an exterior wall finish that is complementary to the overall design of the building. The final design and location of the enclosure shall be reviewed and approved by the Community Development Department prior to the issuance of any building permit. Trash and recycling bins shall be kept within the approved trash enclosure area only, and the trash area shall be kept free of trash overflow and maintained in a clean manner at all times with no trash visible from the public right-of-way.
9. Lighting. All exterior lighting shall be decorative cut-off fixtures (where no light is emitted above the horizontal plane) with the light source fully shielded or recessed to preclude light trespass or pollution up into the night sky. Also, any building-mounted luminaries shall be attached to walls or soffits, and the top of the fixture shall not exceed the height of the roof. All proposed light fixtures shall be designed in a manner that is consistent with the overall design of the building and shall not disturb or create glare towards neighboring properties. In addition, any decorative uplighting, such as those that illuminate building facades or landscaping, shall be operated on timers that turn off illumination no later than 12

midnight, nightly. The Community Development Department shall review and approve all light fixtures prior to installation.

10. Mechanical and Utility Equipment. All roof-mounted and/or ground mounted mechanical and utility equipment, including but not limited to transformers, terminal boxes, risers, backflow devices, gas meters, electric meters, meter cabinets, and heating, ventilation, and air conditioning (HVAC) units shall be screened from public view and treated to match the materials and colors of the building. All Electrical service facilities and equipment on or adjacent to the site shall be planned and located, relocated or modified in a manner consistent with Southern California Edison Company guidelines to minimize human exposure to electromagnetic fields on the site and on adjacent properties, and with any other applicable requirements or guidelines of the California Public Utilities Commission or any other agency with jurisdiction, unless otherwise specified by the Community Development Department. All mechanical and utility equipment locations and screening/treatment shall be approved by the Community Development Department prior to installation or modification.
11. Signs. All proposed signs and sign fixtures must be architecturally compatible with the building's overall design. Any proposed signs (i.e., building identification, window, or monument) shall be reviewed and approved by the Community Development Department prior to permit issuance and installation.
12. Property Maintenance. The subject site and its immediate surrounding area shall be maintained in a clean, neat, quiet and orderly manner at all times and shall comply with the property maintenance standards as set forth in the San Fernando City Code.
13. Graffiti Removal. The property owner(s), operator and all successors shall comply with the graffiti removal and deterrence requirements of the San Fernando City Code. The property owner(s), operator and all successors shall provide for the immediate removal of any graffiti vandalism occurring on the property and, where applicable, the restoration of the surface on which the graffiti exists. Such restoration shall entail repainting or refinishing of the surface with a color or finish that matches the color or finish of the remaining portions of the structure being painted, and including treatment of the surface or site with measures to deter future graffiti vandalism as approved or required by the Community Development Department. Unless removed by the property owner or their designee within the specified time frame required by city code, property owner(s), operator and all successors shall grant the right of access to authorized agents of the City of San Fernando to remove graffiti from any surface on the property that is open and accessible from city property or public right-of-way, at the expense of the owner(s) or operator and all successors.
14. Site Inspections. Prior to the issuance of a Certificate of Occupancy, the Community Development Department and Public Works Department shall inspect the site to assure compliance with these Conditions of Approval. Subsequent to occupancy, owners and all successors shall grant the right of access to authorized agents of the City of San Fernando to conduct periodic inspections of the property.
15. Modifications. Unless the Community Development Department approves a proposed change to the approved plans, all other modifications to the development plan, including these Conditions of Approval, shall require review and approval by the Planning and Preservation Commission.
16. Encroachment Permit. Under no circumstances shall any public right-of-way be obstructed during

construction by materials, vehicles, equipment or other related objects without prior approval from the City Engineer. An Encroachment Permit must be obtained from the Public Works Department prior to any demolition and/or new construction activity that would require staging and/or construction within the public right-of-way.

17. General Compliance. The applicant shall comply with all requirements of applicable federal, state, or local law, ordinance, or regulation.
18. Surface Runoff. All requirements of the National Pollutant Discharge Elimination System (NPDES) shall be complied with and an NPDES permit, including but not limited to the installation of any required clarifiers and/or on-site infiltration system, must be obtained prior to any occupation or use of the site. During construction, the project site shall comply with all applicable Best Management Practices (BMPs).
19. Construction Hours. Construction activity on Mondays through Fridays shall comply with the current San Fernando City Code standards for construction in commercial zones. In addition, any construction on Saturday shall commence no earlier than 8:00 a.m.
20. Acceptance. Within thirty (30) days of approval of Conditional Use Permit 2011-06, the property owner(s) or their duly authorized representatives shall certify the acceptance of the conditions of approval or modifications thereto by signing a statement using an acceptance affidavit form provided by the Community Development Department that acknowledges acceptance and shall be bound by all of the conditions of project approval.
21. Recordation. Prior to the issuance of a Certificate of Occupancy, the applicant shall provide the Community Development Department with proof that the Conditions of Approval have been recorded with the Los Angeles Registrar Recorder/County Clerk's Office.
22. Expiration. Conditional Use Permit 2011-06 shall be subject to expiration unless exercised by submitting construction plans in application for a building permit within six (6) months of final approval or until such additional time as may be granted by the Community Development Department, upon receipt of a written request for an extension received prior to such expiration date. Subsequent failure to obtain and exercise an active building permit shall also cause expiration of the conditional use permit.



Community Development Department
Building & Safety Division

MEMORANDUM

DATE: December 19, 2011

TO: Edgar Arroyo, Assistant Planner

FROM: Francisco J. Villalva, Building & Safety Supervisor

SUBJECT: Site Plan Review 2011-06: 639 San Fernando Road

PROJECT DESCRIPTION: **Tenant improvements for office use**

The above reference proposed project as per plans submitted for site plan review is subject to the requirements as listed below. The requirements are preliminary and not final as additional requirements or corrections may follow during the building plan check process.

1. **REQUIREMENTS FOR GROUP B OCCUPANCIES** - Per San Fernando Building Code Section 304.1 the proposed use of the building will be office.
2. **ACCESSIBILITY** - Per San Fernando Building Code Section 1103.1.3. Group B occupancies shall be accessible as provided in Chapter 11B.
3. **CALIFORNIA CODE OF REGULATIONS, TITLE 24** - Per California Energy Code Title 24 Section 100. A. New systems which use mechanical heating and cooling.
4. **NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES)**. Complete Form PC for storm water planning program priority project checklist.
5. **PLAN CHECK REQUIRED** - Two (2) sets of plans are required upon submitting for plan check as follows:
 - a. Site plan at standard size and an additional copy at 8 1/2" x 11".
 - b. Architectural Plans
 - c. Mechanical Plan
 - d. Electrical Plan
 - e. Plumbing Plan

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ATTACHMENT 2:

Vicinity Map

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Google Earth

PROJECT SITE
639 SAN FERNANDO ROAD
APN: 2522-034-014

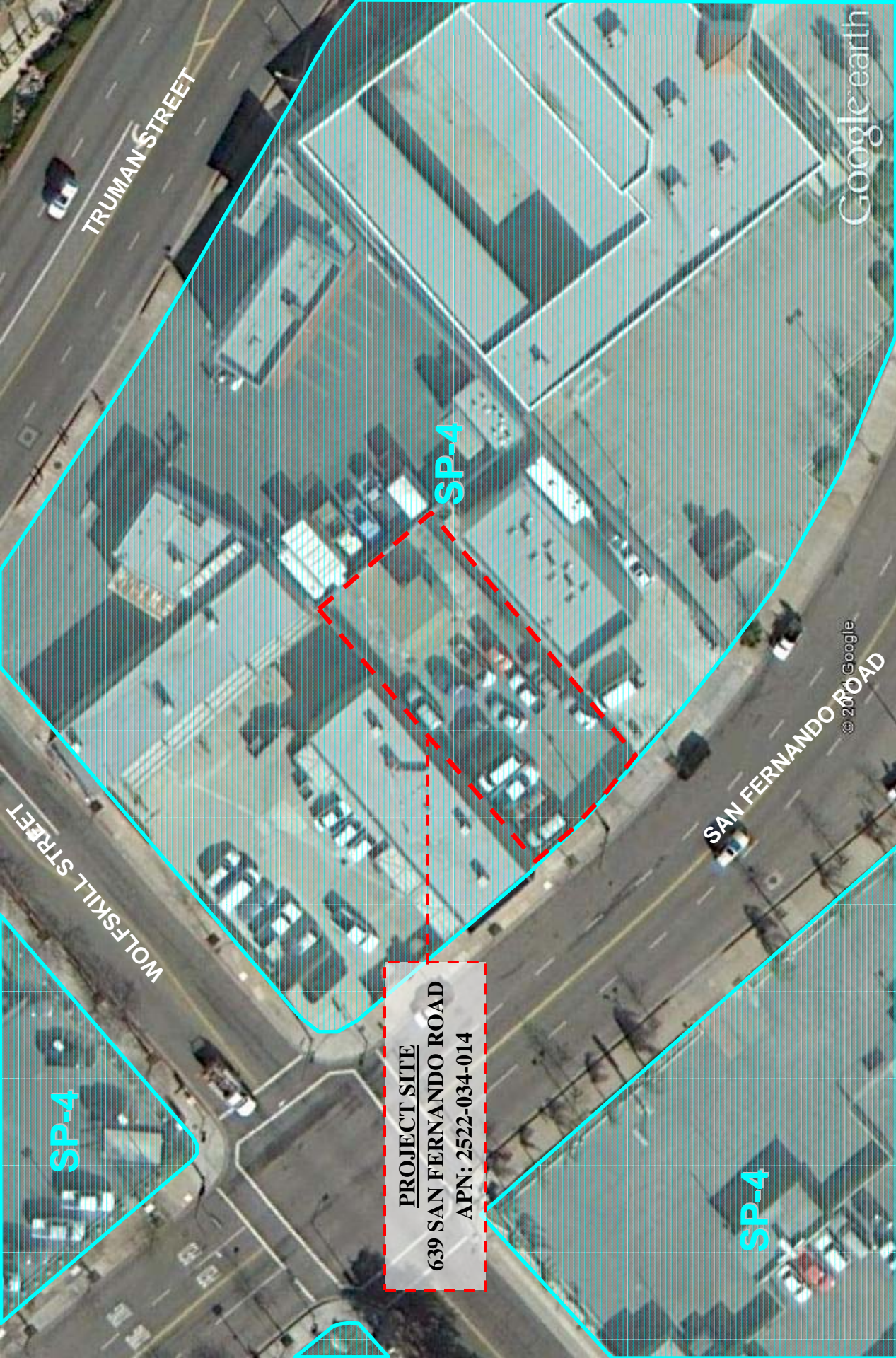
VICINITY MAP
639 SAN FERNANDO ROAD

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ATTACHMENT 3:

Zoning Map

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ZONING MAP
639 SAN FERNANDO ROAD

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ATTACHMENT 4:

Project Site Photos

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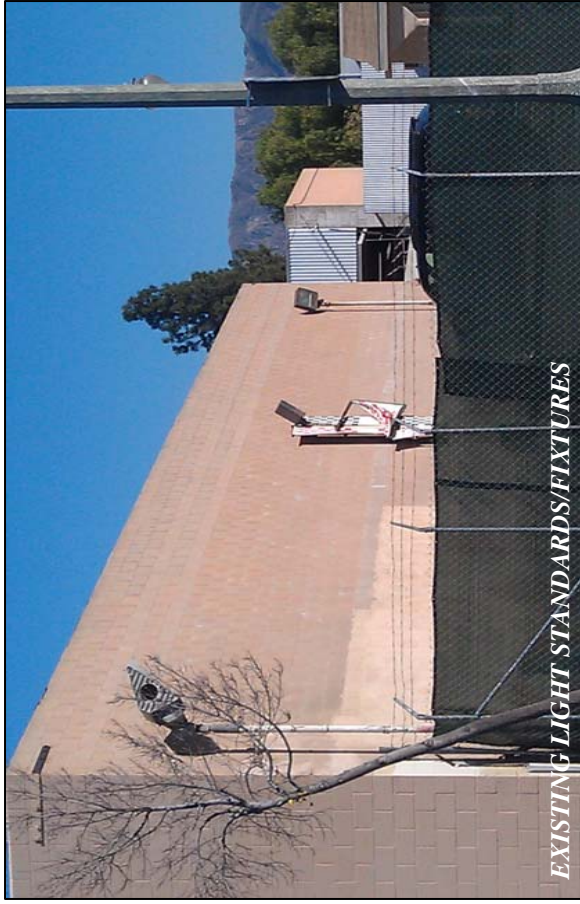


FRONTAGE - 639 SAN FERNANDO ROAD



FRONTAGE - 639 SAN FERNANDO ROAD

SITE PHOTOS - 639 SAN FERNANDO ROAD



EXISTING LIGHT STANDARDS/FIXTURES



EXISTING FENCE ALONG FRONTAGE TO BE REMOVED

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NEIGHBORING PROPERTY - 638 SAN FERNANDO ROAD



NEIGHBORING PROPERTY - 647 SAN FERNANDO ROAD

PHOTOS OF NEIGHBORING PROPERTIES



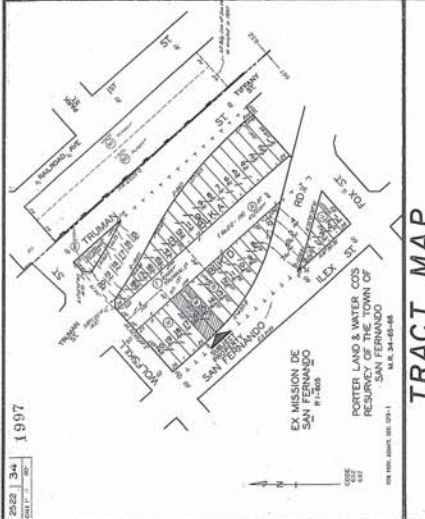
NEIGHBORING PROPERTY - 635 SAN FERNANDO ROAD

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ATTACHMENT 5:

Proposed Site Plan

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SITE PLAN NOTES

- 1.- MATERIAL TYPE AT BLOCK WALL FENCE SHALL BE CONSTRUCTED OF DECORATIVE BLOCK OR HAVE A DECORATIVE FINISH.
- 2.- ALL PARKING SPACES SHALL BE DOUBLE STRIPED.
- 3.- 15 FEET FRONT SETBACK SHALL BE NON-REMOVABLE.
- 4.- ANY PROPOSED FRONT FENCING SHALL BE FIXED HEIGHT OF 4' OR MAX. W. IRON FENCE HEIGHT OF 4'.
- 5.- FRONT SETBACK AND 6' FEET IN HEIGHT AFTER MATERIALS.
- 6.- ALL LIGHTING FIXTURES SHALL BE DECORATIVE.
- 7.- TRASH AREA SHALL BE PROVIDED.

PROJECT SUMMARY

JOB ADDRESS: 639 SAN FERNANDO RD
SAN FERNANDO, CA 91340

LEGAL DESCRIPTION: PORTER LAND AND WATER CO'S TRACT 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 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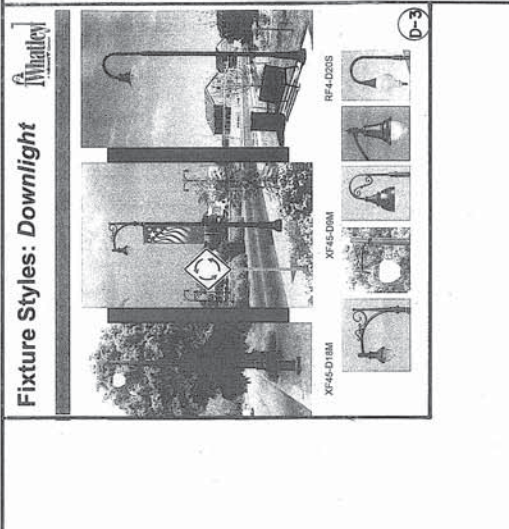
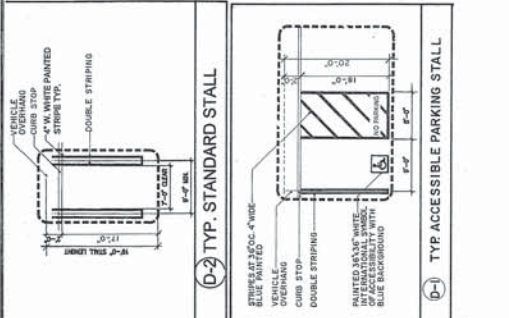
PLANT SCHEDULE

San Jose - San Jose
 24" Box Trifolium Cordata - Brisbane Box Tree
 24" Pyrus calleryana - Bradford pear
 5 Gal Phormium tenax - Bronze
 5 Gal Rhipsalis indica - 'Ballarina'
 (planted 2' apart)
 1 Gal Agave attenuata - Lily-of-the-Nile
 (planted 18' apart)
 1 Gal Boronia humilis - 'Autopurpurea'
 Japanese Babbari (planted 24' apart)
 Ficus of Rosemunda officinalis
 (planted 12' apart)

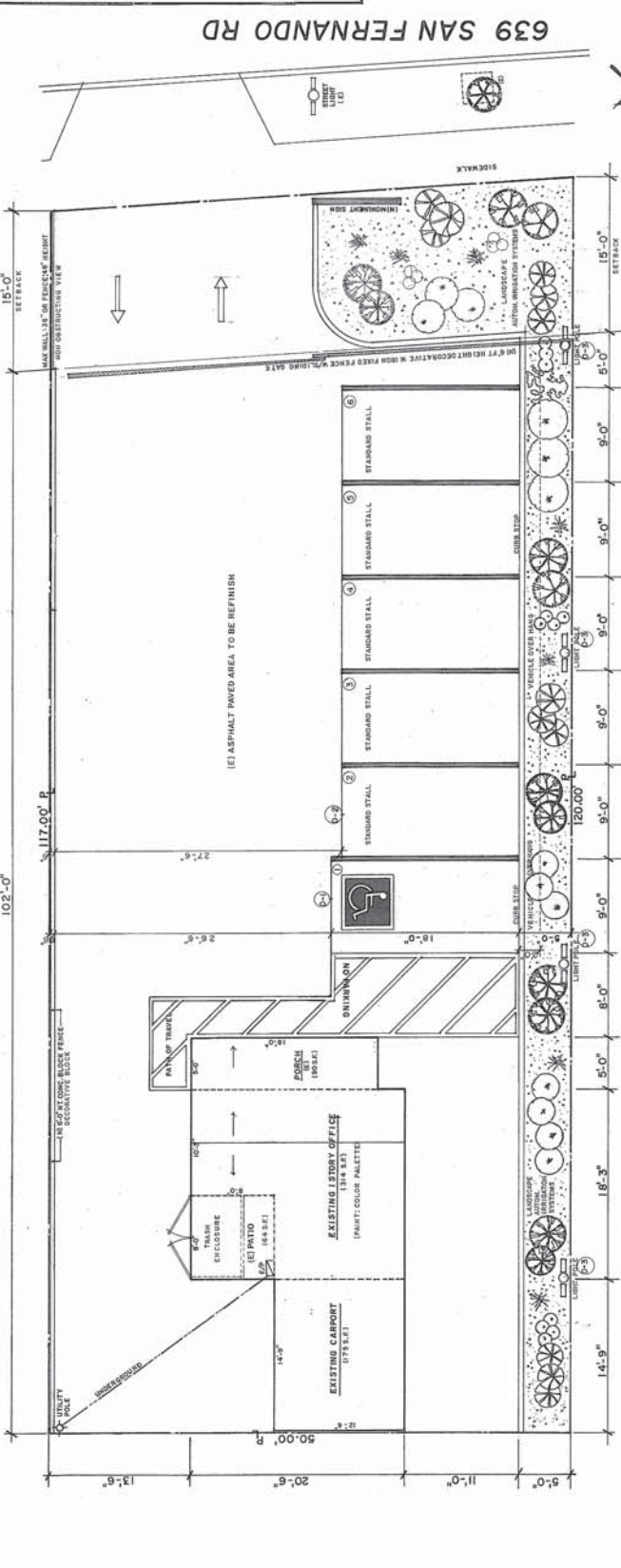
- Common open space should be accessible to all residents and visitors. Open space should remain unobstructed and should be designed to provide a sense of openness and freedom. Open space should be designed to provide a sense of openness and freedom. Open space should be designed to provide a sense of openness and freedom.
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2. OPEN SPACE, LANDSCAPE AND PLANT MATERIALS

- Both horizontal and vertical dimensions of the landscape should be considered. The landscape should be designed to provide a sense of openness and freedom. The landscape should be designed to provide a sense of openness and freedom.
- Open space should be designed to provide a sense of openness and freedom. Open space should be designed to provide a sense of openness and freedom. Open space should be designed to provide a sense of openness and freedom.
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BY	REVISIONS
MAA	1. Initial design
MAA	2. Final design
MAA	3. Construction documents
MAA	4. Final construction documents



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MAA	4. Final construction documents

SITE PLAN

3/16"=1'-0"

BY	REVISIONS
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