



THE CITY OF

# SAN FERNANDO

## PLANNING AND PRESERVATION COMMISSION

### SPECIAL MEETING NOTICE AND AGENDA

AUGUST 20, 2019 – 6:30 P.M.

COUNCIL CHAMBERS  
117 MACNEIL STREET  
SAN FERNANDO, CA 91340

#### **CALL TO ORDER**

#### **ROLL CALL**

Chairperson Alvin Durham, Jr.  
Vice-Chair Yvonne G. Mejia  
Commissioner Ivan Gonzalez  
Commissioner Aida Montes  
Commissioner Hector Pacheco

#### **PLEDGE OF ALLEGIANCE**

#### **APPROVAL OF AGENDA**

August 20, 2019

#### **PUBLIC STATEMENTS – WRITTEN/ORAL**

There will be a three (3) minute limitation per each member of the audience who wishes to make comments relating to City Business. Anyone wishing to speak, please fill out a form located at the Council Chambers entrance and submit it to the Commission Chair. When addressing the Planning and Preservation Commission please speak into the microphone and voluntarily state your name and address.

#### **CONSENT CALENDAR**

Items on the Consent Calendar are considered routine and may be disposed of by a single motion to adopt staff recommendation. If the Planning and Preservation Commission wishes to discuss any item, it should first be removed from the Consent Calendar.

- 1) **Approval of the minutes of the Planning and Preservation Commission meeting on April 3, 2019**

#### **CONTINUED BUSINESS**

None

#### **NEW BUSINESS**

- 1) **SUBJECT: Conditional Use Permit 2018-003 (CUP 2018-003) and Site Plan Review 2018-025 (SPR 2018-025)**

# PLANNING AND PRESERVATION COMMISSION

Special Meeting Notice and Agenda –August 20, 2019

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- LOCATION:** 1426 San Fernando Road, San Fernando CA 91340
- PROPOSAL:** The proposed “Project” consists of a request for approval of a Conditional Use Permit to allow for the development of a four unit residential apartment complex within the Mixed-Use Corridor District of the San Fernando Corridor Specific Plan Zone (SP-5).
- APPLICANT:** Fred Partovi, P.O. Box 8312, Van Nuys, CA 91409
- RECOMMENDATION:** Staff recommends that the Planning and Preservation Commission approve Conditional Use Permit 2018-003 and Site Plan Review 2018-025, pursuant to Planning and Preservation Commission Resolution No. 2019-008 and the Conditions of Approval attached therein as Exhibit “A” in order to entitle a four unit residential apartment complex with the Mixed-Use Corridor District of SP-5.
- 2) SUBJECT:** Discussion on Planning and Preservation Commission meeting dates and times.

*If, in the future, you wish to challenge the items listed above in Court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this notice or in written correspondence delivered to the City Planning and Preservation Commission at, or prior to, the Public Hearing. Decisions of Planning and Preservation Commission may be appealed to the City Council within 10 days following the final action.*

## **STAFF COMMUNICATIONS**

- Direct Deposit for Stipend
- Attendance at Commission meetings

## **COMMISSIONER COMMENTS**

## **ADJOURNMENT**

Wednesday, September 4, 2019

*I hereby certify under penalty of perjury under the laws of the State of California that the foregoing agenda was posted on the City Hall bulletin board not less than 72 hours prior to the meeting.*

*Signed and Posted: Date and time*

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*Agendas and complete Agenda Packets (including staff reports and exhibits related to each item) are posted on the City's Internet Web site ([www.sfcity.org](http://www.sfcity.org)). These are also available for public reviewing prior to a meeting at the Community Development Department Public Counter. Any public writings distributed by the Planning and Preservation Commission to at least a majority of the Commissioners regarding any item on this regular meeting agenda will also be made available at the Community Development Department Public Counter located at 117 Macneil Street, San Fernando, CA, 91340 during normal business hours. In addition, the City may also post such documents on the City's Web Site at [www.sfcity.org](http://www.sfcity.org). In accordance with the Americans with Disabilities Act of 1990, if you require a disability-related modification/accommodation to attend or participate in this meeting, including auxiliary aids or services please call the Community Development Department at (818) 898-1227 at least 48 hours prior to the meeting.*



**CITY OF SAN FERNANDO  
PLANNING AND PRESERVATION COMMISSION**

**DRAFT MINUTES OF THE  
APRIL 3, 2019 MEETING  
CITY HALL COUNCIL CHAMBER**

**THE FOLLOWING MINUTES ARE A SUMMARY OF ACTIONS TAKEN BY THE PLANNING COMMISSION. AUDIO OF THE ACTUAL MEETING ARE AVAILABLE FOR LISTENING AT: <http://ci.san-fernando.ca.us/commissions-boards/#1477946968325-c2faf7a0-5a49>**

**CALL TO ORDER**

The meeting was called to order by Chairperson Alvin Durham at 6:30 P.M.

**ROLL CALL**

The following persons were recorded as present:

**PRESENT:**

Chairperson Alvin Durham, Commissioners Ivan Gonzalez, Yvonne Mejia, Aida Montes and Hector Pacheco

**ALSO PRESENT**

Community Development Director Timothy Hou, Associate Planner Gerardo “Jerry” Marquez, City Attorney Martin de los Angeles, and Community Development Secretary Michelle De Santiago

**APPROVAL OF AGENDA**

Commissioner Y. Mejia moved to approve the agenda of April 3, 2019, meeting. Seconded by I. Gonzalez, the motion carried with the following vote:

AYES:	Y, Mejia, I. Gonzalez, A. Durham, A. Montes, and H. Pacheco
NOES:	None
ABSENT:	None
ABSTAIN:	None

**REORGANIZATION OF THE PLANNING AND PRESERVATION COMMISSION**

- Calls for nominations of Chairperson
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## **PLANNING AND PRESERVATION COMMISSION**

**Regular Meeting Minutes –April 3, 2019**

Page 2 of 6

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Y. Mejia moved to nominate Alvin Durham as Chairperson. Seconded by I. Gonzalez, the motion carried with the following vote:

AYES:	Y, Mejia, I. Gonzalez, A. Durham, A. Montes, and H. Pacheco
NOES:	None
ABSENT:	None
ABSTAIN:	None

- Calls for nomination of Vice-Chairperson

A. Durham moved to nominate Yvonne Mejia as Vice-Chairperson. Seconded by I. Gonzalez, the motion carried with the following vote:

AYES:	A. Durham, I. Gonzalez, Y. Mejia, A. Montes, and H. Pacheco
NOES:	None
ABSENT:	None
ABSTAIN:	None

### **CONSENT CALENDAR**

Chairperson A. Durham moved to approve the minutes of the March 5, 2019 Planning and Preservation Commission Meeting. Seconded by Commissioner I. Gonzalez, the motion carried with the following vote:

AYES:	A. Durham, I. Gonzalez, Y. Mejia, A. Montes, and H. Pacheco
NOES:	None
ABSENT:	None
ABSTAIN:	None

### **CONTINUED BUSINESS:**

#### **PUBLIC HEARING**

Conditional Use Permit 2018-005 (CUP 2018-005) – 12940 Foothill Boulevard, Unit A, San Fernando, CA 91340 – Kent Clark, on behalf of Crazy Goody Restaurant – The proposed “Project” consists of a request for the approval of a Conditional Use Permit to allow for the on-site sale and consumption of beer and wine (License Type 41) in a sit-down restaurant within the C-2 Commercial Zone.

#### **STAFF PRESENTATION**

G. Marquez gave the staff presentation recommending that the Planning and Preservation Commission approve Conditional Use Permit 2018-005 to allow an existing full service sit-down



## **PLANNING AND PRESERVATION COMMISSION**

Regular Meeting Minutes –April 3, 2019

Page 3 of 6

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restaurant the on-site sale of beer and wine ( License Type 41) pursuant to Planning and Preservation Commission Resolution No. 2019-005 and the Conditions of Approval attached as Exhibit “A” to the report.

### **PUBLIC COMMENT**

None

### **COMMISSION DISCUSSION**

Y. Mejia asked if all of the items that were pending have been submitted or resolved.

T. Hou confirmed that all items have been resolved.

A. Durham asked if the location met the definition of a “sit-down” restaurant.

Y. Mejia stated that this is similar to the request by Chipotle, a sit-down restaurant, and is more comfortable that it will be bottled/can service.

Subsequent to discussion, Vice-Chair Y. Mejia moved to approve Conditional Use Permit 2018-005. Seconded by Commission I. Gonzalez, the motion carried with the following vote:

AYES:	Y. Mejia, I. Gonzalez, A. Durham, A. Montes, and H. Pacheco
NOES:	None
ABSENT:	None
ABSTAIN:	None

### **NEW BUSINESS:**

T. Hou explained that the next item is in close proximity to a property that one of the Commission member holds interest in.

M. De Los Angeles explained that in order to avoid a possible conflict of interest it would be recommended that the Commission member recuse himself.

H. Pacheco excused himself from dais and stated that he will abstain from the vote.

### **PUBLIC HEARING**

Conditional Use Permit 2019-001 (CUP 2019-001) and Site Plan Review 2019-002 (SPR 2019-002) – 1203 N. Maclay Avenue, San Fernando, CA 91340 – Michael Pauls – 6475 E. Pacific Coast Highway #135, Long Beach, CA 90803 – The proposed “Project” is for the development of a 2,300 square foot 24 hour gasoline refueling service station in conjunction with a grocery store with limited sale of beer and wine and an ancillary 920 square foot automatic carwash within the Maclay district of the San Fernando Corridors Specific Plan (SP-5) zone.

## **PLANNING AND PRESERVATION COMMISSION**

**Regular Meeting Minutes –April 3, 2019**

Page 4 of 6

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### **STAFF PRESENTATION**

G. Marquez gave the staff presentation recommending that the Planning and Preservation Commission approve Conditional Use Permit 2019-001 and Site Plan Review 2019-002 pursuant to Planning and Preservation Commission Resolution No. 2019-006 and the Conditions of Approval attached as Exhibit “A” to allow for a 2,300 square foot 24 hour gasoline refueling service station in conjunction with a grocery store with limited sales of beer and wine and ancillary 920 square foot automatic carwash to be located at 1203 N. Maclay Avenue.

G. Marquez also stated that the following corrections will be made to the Conditions of Approval: Number 5 to be changed from On-sale to off-sale; and 5J to be omitted.

### **PUBLIC COMMENT**

Michael Pauls – the applicant, thanked staff for their professionalism throughout the entire process. Mr. Pauls indicated that he is proposing an environmentally friendly operation with an investment of over 4 million dollars that will bring 15 new jobs to the community. He stated that the staff will be trained by ABC because he believes it is a part of being a responsible business operator. He stated that the location will have surveillance 24 hours a day seven days a week that will be kept for 60 days and will be at the disposal of the Police Department if they need it.

### **COMMISSION DISCUSSION**

A. Montes thanked the applicant for choosing the City of San Fernando for his development. She indicated that she does express some reservations with the location being open 24 hours a day.

Mr. Pauls stated that the development will not create any negative impacts to the neighborhood. He indicated that the City has put in place certain requirements for exterior lighting to avoid the spillover of illumination. He indicated that the reasoning for the 24 hour operations is that not everyone has a 9-5 work week and that it will serve the needs of the entire community. He explained that the car wash hours will be limited to 7:00 a.m. to 8:00 p.m.

I. Gonzalez indicated that he lives nearby and stated that he uses that intersection for the daily commute and that he will be patronizing the location.

A. Durham stated that he likes the completeness of the presentation and likes the proposed development.

T. Hou read an e-mail correspondence that was received from Humberto Quintana from City of Los Angeles Councilmember Monica Rodriguez requesting a continuance of the CUP 2019-001.

Y. Mejia asked for clarification about jurisdiction rules and guidelines on only being able to approve projects within the City of San Fernando and the applicant will still require approvals from City of Los Angeles if needed. She stated that she wants to be respectful of the request but not sure what continuing the project will accomplish since the Commission can only approve what is in our jurisdiction. She went on to indicate that the City met all of the noticing requirements and that we shouldn't delay a thorough and well developed project.

## **PLANNING AND PRESERVATION COMMISSION**

**Regular Meeting Minutes –April 3, 2019**

Page 5 of 6

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T. Hou indicated that this project proposal was noticed on March 21, 2019.

Y. Mejia suggested that the Commission move forward with a motion and if the City of Los Angeles wishes they can appeal our decision.

Vice-Chair Y. Mejia moved to approve Conditional Use Permit 2019-001 and Site Plan Review 2019-002 with the amendments to the Conditions of Approval. Seconded by Commissioner I. Gonzalez, the motion carried with the following vote:

AYES:	Y. Mejia, I. Gonzalez, A. Durham, and A. Montes
NOES:	None
ABSENT:	None
ABSTAIN:	H. Pacheco

### **PUBLIC HEARING**

Zone Text Amendment 2019-001 (ZTA 2019-001) – Citywide, San Fernando, CA 91340 – The proposed Code Amendment would amend Division 13 (Wireless Telecommunication Facilities) of Article VI (General Regulations) of Chapter 106 (Zoning) of the San Fernando Municipal Code to establish updated regulations and procedures related to wireless telecommunications facilities.

### **STAFF PRESENTATION**

T. Hou gave the staff presentation recommending that the Planning and Preservation Commission recommend to City Council approval of Zoning Text Amendment establishing updated regulations and procedures related to wireless telecommunications facilities, and recommending City Council approve the related policy guidelines as presented in Attachment “C”.

### **COMMISSION DISCUSSION**

A. Durham asked if the equipment boxes have to be within a certain distance from the small sites.

T. Hou indicated that it would depend on the design and coverage.

H. Pacheco asked if there are any cell towers in the City of San Fernando.

G. Marquez indicated that there are currently between five to six cell sites.

H. Pacheco asked if the intention is to replace those five to six with these small cell sites.

T. Hou explained that these would complement those existing cell sites.

## **PLANNING AND PRESERVATION COMMISSION**

**Regular Meeting Minutes –April 3, 2019**

Page 6 of 6

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Y. Mejia asked if a franchise agreement would be needed since these small site would be installed on City property.

M. De Los Angeles indicated that the FCC regulates the license and agreement requirements so that there isn't any potential conflict.

Chairperson A. Durham moved to approved Zone Text Amendment 2019-001 recommending to the City Council adoption of the proposed Urgency Ordinance No. 1687 attached as Exhibit "1" amending the San Fernando Municipal Code to establish updated regulations and procedures related to wireless telecommunication facilities, recommending City Council approval of related policy guidelines as presented. Seconded by Commissioner A. Montes, the motion carried with the following vote:

AYES:	A. Durham, A. Montes, I. Gonzalez, Y. Mejia, and H. Pacheco
NOES:	None
ABSENT:	None
ABSTAIN:	None

### **STAFF COMMUNICATIONS**

T. Hou introduced the Planning Intern Christian Candelaria.

### **COMMISSIONER COMMENTS**

None

### **ADJOURNMENT**

Chairperson A. Durham moved to adjourn to May 7, 2019. Seconded by Vice-Chair Y. Mejia, the motion carried with the following vote:

AYES:	A. Durham, Y. Mejia, I. Gonzalez, A. Montes, and H. Pacheco
NOES:	None
ABSENT:	None
ABSTAIN:	None

8:02 P.M.

Planning Commission Secretary



**MEETING DATE:** August 20, 2019

**COMMISSION CONSIDERATION:**

1. CHAIRPERSON TO OPEN THE ITEM AND REQUEST STAFF REPORT
2. STAFF PRESENTS REPORT
3. COMMISSION QUESTIONS ON STAFF REPORT
4. OPEN THE PUBLIC HEARING
5. CLOSE THE PUBLIC HEARING
6. PLANNING AND PRESERVATION COMMISSION DISCUSSION
7. RECOMMENDED ACTION:

a. To Approve:

“I move to approve Conditional Use Permit 2018-003 and Site Plan Review 2018-025, pursuant to Planning and Preservation Commission Resolution No. 2019-008 and the Conditions of Approval attached as Exhibit “A” to allow for the development of a four unit residential apartment complex within the Mixed-Use Corridor District of SP-5 located at 1426 San Fernando Road. (Roll Call Vote)

b. To Deny:

“I move to deny Conditional Use Permit 2018-003 and Site Plan Review 2018-025, based on the following...” (Roll Call Vote)

c. To Continue:

“I move to continue Conditional Use Permit 2018-003 and Site Plan Review 2018-025 to the following date...” (Roll Call Vote)

Moved:\_\_\_\_\_

Seconded:\_\_\_\_\_

Roll Call:\_\_\_\_\_

**NEW BUSINESS ITEM 1:**  
**Conditional Use Permit 2018-003 and**  
**Site Plan Review 2018-025**





## AGENDA REPORT

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**To:** Planning and Preservation Commission Chairperson Durham and Commissioners

**From:** Timothy T. Hou, AICP, Director of Community Development  
By: Gerardo Marquez, Associate Planner

**Date:** August 20, 2019

**Subject:** **Conditional Use Permit 2018-003**  
**Site Plan Review 2018-025**  
1426 San Fernando Road, San Fernando, CA 91340  
(Los Angeles County Assessor Identification No: 2521-003-006)

**Proposal:** The proposed "Project" consists of a request for approval of a Conditional Use Permit to allow for the development of a four unit residential apartment complex within the Mixed-Use Corridor District of the San Fernando Corridors Specific Plan Zone (SP-5).

**APPLICANT:** Fred Partovi  
P.O. Box 8312  
Van Nuys, CA 91409

### **RECOMMENDATION:**

Staff recommends that the Planning and Preservation Commission ("Commission") approve Conditional Use Permit (CUP) 2018-003 and Site Plan Review 2018-025, pursuant to Planning and Preservation Commission Resolution No. 2019-008 (Attachment "A") and the Conditions of Approval attached therein as Exhibit "A" in order to entitle a four unit residential apartment complex within the Mixed-Use Corridor District of SP-5.

### **PROJECT OVERVIEW:**

On July 5, 2018, Fred Partovi (the "Applicant"), submitted a CUP and Site Plan Review application (Attachment "B") seeking to develop a four unit apartment complex. The Project Site is a 5,000 square foot lot and is located on the southern side of San Fernando Road west of Workman Street and east of Huntington Street. Per Table 4.1 of SP-5, such use is permitted subject to approval of a conditional use permit in the Mixed Use Corridor District.

The Project Site is currently vacant and fenced off. The development will be a three story apartment complex that will provide four two-bedroom, two-and-a-half bathroom apartment dwelling units on a single lot. The new units will each provide approximately 1,000 square feet of living area. These dwelling units will provide an enclosed two car garage for each unit as seen

on the plans attached (Attachment “C”). The Commission’s approval of the requested CUP and Site Plan Review would allow for the development of the four units in conformance with SP-5.

The project includes different amenities and features per floor. The ground floor will provide enclosed two vehicle parking for each unit. The ground level will also provide outdoor amenities such as a new 24 foot wide drive way for adequate ingress and egress to the site as well as 272 square feet of common open space. Given that the project will provide four dwelling units, the development must provide a trash enclosure for the site. In order to meet the minimum development standards for the trash enclosure area, the enclosure shall be located at the front of the Project Site. The trash enclosure shall be fully enclosed and will be landscaped in order to provide additional screening. The second floor will be developed to provide a half bathroom, kitchen, living room and private open space for each unit. The private open space, provided as balcony area for each unit, meets the minimum development standard of 60 square feet, per SP-5. The third story will be dedicated to two bedrooms per each unit. Each bedroom will have its own bathroom. The rooftop shall serve as the location for the mounting of all mechanical equipment. All rooftop equipment shall be screened by architectural parapets, per SP-5.

The design of the building is consistent with SP-5 Design Guidelines as well as the City of San Fernando Design Guidelines for Residential Properties. The applicant will implement Spanish style architecture consistent with adjacent residential and commercial properties. The applicant will incorporate prominent tower features in order to create vertical massing with variation as seen on the plans (Attachment “C”). The applicant has also incorporated recessed windows, clay tile roofing, wood accents and stucco finishing reaffirming Spanish architectural elements.

#### **BACKGROUND:**

1. General Plan Land Use and Zoning Designation: The Project Site at 1426 San Fernando Road is located within the Mixed Use Corridor District of SP-5 and maintains a Multi-Use land use designation in the General Plan Land Use Element.
2. Site Location and Description: The Project Site is a 5,000 square foot lot or 0.11 acre (Los Angeles County Assessor Identification No: 2521-003-006) parcel and is located on the southern side of San Fernando Road west of Workman Street and east of Huntington Street. The Project Site abuts similarly zoned properties within the Mixed-Use Corridor District of SP-5 to the north, south, east and west.
3. Environmental Review: This project has been reviewed for compliance with the California Environmental Quality Act (CEQA) of 1970. Based on that assessment, the project has been determined to be Categorically Exempt under Section 15332 (Class 32 - Infill Development Projects) of the State CEQA Guidelines.



4. Legal Notification: On August 8, 2019, a public hearing notice was published in the print and online versions of the legal advertisement section of the *San Fernando Sun Newspaper* (Attachment “D”). In addition, on August 8, 2019, a public hearing notice was posted at the Project Site, at the two City Hall bulletin boards, and at the local branch of the Los Angeles County Library at 217 N. Maclay Avenue. Notices of the public hearing for this CUP and Planning Review request were also mailed to all property owners of record within 500 feet of the Project Site.
5. Public Comments: As of the date of preparation of this staff report, no comments were received from the public regarding this CUP and Site Plan Review for the project. Any comments received after the distribution of this report shall be read into the record at the public hearing.

#### **ANALYSIS:**

1. General Plan Consistency. The requested CUP and Site Plan Review to entitle a new four unit apartment residential development is consistent with the following goals and objectives of the San Fernando General Plan Land Use Element:

- To retain the small town character of San Fernando
- To maintain an identity that is distinct from surrounding communities

Additionally, the proposal is consistent with multiple policies of Housing Element Goals 1.0 and 2.0:

- Policy 1.2: Preserve the character, scale, and quality of established residential neighborhoods
- Policy 1.5: Provide focused code enforcement and rehabilitation efforts in targeted neighborhoods to achieve substantive neighborhood improvements
- Policy 2.2: Provide opportunities for mixed use and infill housing development in the City’s Corridor Specific Plan Areas as part of the City’s overall revitalization strategy

2. Zoning Consistency. Pursuant to Table 4.1 of SP-5, the Mixed Use Corridor District allows for apartment developments as a conditionally permitted use. The Mixed Use Corridor District promotes the creation of new housing opportunities while also promoting development in the Multi-Use Land Use designated area of the City. Pursuant to Table 4.2 of SP-5, the density for this site allows for a maximum of 37 dwelling units per acre, this site measuring 0.11 acres would allow for a maximum number of units of 4. Additionally, the Project Site is surrounded by a mixture of residential, commercial, and service uses. The proposed development will not create a need for a variance from any development standards.

Based on the foregoing, it is staff’s assessment that the request is consistent with all applicable development standards for the Mixed Use Corridor District of SP-5.

4. Conditional Use Permit Findings. As the name implies, a CUP allows the City of San Fernando the ability to consider specified uses that might not otherwise be allowed as a principally permitted use if the landowner or applicant meets certain conditions of approval. The basic goal of the CUP is to allow the full range of land uses required for the community to function, while still giving the community some control over individual situations that could result in land use conflicts or negative environmental impacts. CUP's are important to land use planning because it allows the Commission to review the potential impacts associated with the discretionary review of the proposed development.

A CUP is subject to discretionary review by the Commission. Discretionary review is a process that permits the Commission to review individual cases for proposed uses of the land and approve a project subject to specific conditions or deny the CUP request. Conditions of project approval imposed on the applicant through the discretionary review process may call for any measures that are reasonably related to preventing potential adverse land use and environmental impacts that might be associated with the project.

Approval or denial of a CUP is based on the Commission's ability to be reasonably satisfied with the project and that it possesses certain characteristics that are identified in the form of 10 findings of fact, as required per City Code Section 106-145. All findings must be justified and upheld in the affirmative for approval of the CUP. A negative determination on any single finding is grounds for a denial of the CUP. Conditions of approval will also be implemented to support these findings. Such conditions can include off-site parking of vehicles, surveillance, safety, property maintenance, and proper construction management practices as well.

It is City Planning Staff's assessment that the findings for approval of the CUP amendment can be made in this instance based on the aforementioned discussion, and as explained below for each of the required findings of fact.

- a) The proposed use is one conditionally permitted within the subject zone and complies with all applicable sections of the zoning ordinance.**

Pursuant to Table 4.1 of the San Fernando Corridors Specific Plan, the Mixed Use Corridor District allows for the development of apartments as a conditionally permitted use. The approval of the requested CUP would allow for the proposed entitlement of a new four unit apartment development. The proposed development will not create a need for any variance from any development standards. Thus, it is staff's assessment that this finding can be made.

- b) The proposed use would not impair the integrity and character of the zone in which it is to be located.**

The Project Site at 1426 San Fernando Road is located within the Mixed-Use Corridor District of SP-5 and maintains a Multi-Use land use designation in the General Plan Land Use Element. The proposed development will not create a need for any variance from any development standards. Pursuant to the City's General Plan Land Use Element, future uses that are envisioned for the area include the operation of a mixture of uses.

To ensure the protection and preservation of the surrounding neighborhood, while fostering and promoting growth in the zone, the City's standard conditions of approval would be included, which address potential issues associated with noise, trash and debris, and other public nuisance conditions. Noncompliance with the adopted conditions of approval would require the City to seek corrective action from the business owner and may lead to revocation of the required CUP. Thus, it is staff's assessment that this finding can be made.

**c) The subject site is physically suitable for the type of land use being proposed.**

The Project Site is a 5,000 square foot lot or 0.11 acre parcel and is located on the southern side of San Fernando Road west of Workman Street and east of Huntington Street. The Project Site abuts similarly zoned properties within the Mixed-Use Corridor District of SP-5 to the north, south, east and west. Parking for the project will consist of two car enclosed garages for each unit. Thus, it is staff's assessment that this finding can be made.

**d) The proposed use is compatible with land uses presently on the subject property.**

The Project Site is designated by the General Plan Land Use Element as Multi-Use. Currently the site is vacant and the development of this use will complement commercial, service and residential uses adjacent to this property. Thus, it is staff's assessment that this finding can be made.

**e) The proposed use would be compatible with the existing and future land uses within the zone and the general area in which the proposed use is to be located.**

The San Fernando Corridors Specific Plan designates this site as the Mixed-Use Corridor District, where future uses envisioned for the area include the operation of residential, commercial and service uses. It is also intended to provide uses which are supportive of or provide a direct service to adjacent uses. Furthermore, under City's General Plan Land Use Element, the Project Site is designated Multi-Use land use area, where future uses envisioned for the area include the operation of a mixture of activities such as commercial, residential, and service uses. The request to allow the apartment use

would entitle the already existing Project Site. Thus, it is staff's assessment that this finding can be made.

- f) There would be adequate provisions for water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety.**

The existing site is currently vacant and will be adequately served by water, sanitation, and public utilities. Any required future improvements to infrastructure and public utilities with the change of occupancy would be required to be developed in compliance with the requirements of the City's building and health and safety codes, including any requirements for off-site improvements and utility connections from the City's Public Works Department. Thus, it is staff's assessment that this finding can be made.

- g) There would be adequate provisions for public access to serve the subject proposal.**

The Project Site at 5,000 square foot lot or 0.11 acre parcel will provide a single point of access from San Fernando Road. The existing driveway apron shall be closed and a new apron constructed per the City's Public Works Department specifications (Attachment "E"). The project shall provide a 24 foot driveway that will provide adequate ingress and egress to the. Thus, it is staff's assessment that this finding can be made.

- h) The proposed use would be appropriate in light of an established need for the use at the proposed location.**

Within the Mixed-Use Corridor District of SP-5, the operation of an apartment is a permitted use through the City's review and approval of a conditional use permit. The request to entitle a four unit apartment development is an appropriate and compatible use for the types of uses currently established and potentially permitted in the district. Pursuant to SP-5, the Mixed-Use Corridor District allows housing at densities high enough 1) to provide housing units that can serve the local population, 2) to generate developments that create a transit-orientated neighborhood and 3) activate a mixture of uses that will create a lively street activity. Approval of the CUP for the operation of an apartment development helps to promote development of residential uses which will complement multimodal forms of transportation. CUP approval at the Project Site will help draw new similar and complementary types of development to the area. Thus, it is staff's assessment that this finding can be made in this case.

- i) The proposed use is consistent with the objectives, policies, general land uses and programs of the City's General Plan.**

The City's General Plan Land Use Element designates the Project Site as Multi-Use land use area, a location where future uses envisioned for the area include the operation of more than one type of development. This division is designed to facilitate the development of commercial, residential, and service uses and increase business activity within the vicinity and with adjacent land uses. It is also intended to provide a small town feel for the City of San Fernando and help maintain an identity within the area that is distinct from surrounding communities. Entitlement of the apartment development would meet the density standards and goals of the specific district to maintain a walkable pedestrian scaled environment and supports the Housing Element Goal 1.0, Policy 1.2, which looks to maintain and enhance the quality of existing neighborhoods by maintaining the character of the established neighborhood through the development of new residential units. The density for this site allows for a maximum of 37 dwelling units per acre. This site measures 0.11 acres, which would allow for a maximum of 4 units. Thus, it is staff's assessment that this finding can be made in this case.

**j) The proposed use would not be detrimental to the public interest, health, safety, convenience or welfare.**

The requested CUP to entitle four unit apartment use in the Mixed-Use Corridor District as established in Table 4.1 of SP-5 will not be detrimental to the public interest, health, safety, convenience or welfare due to the fact that the proposed use will be consistent with and complement established uses within the vicinity. The proposed entitlement will provide a new paved driveway, new landscaping and new enclosed parking which will serve the future tenants and provide an overall improvement to the vacant site. With the adoption of the recommended conditions of approval for the requested CUP, the applicant would be required to provide sufficient safeguards to deter any potential public nuisance issues and protect public interest, health, safety, convenience or welfare. Noncompliance with the conditions of approval for an approved CUP would require corrective action on behalf of the property owner and may result in revocation of the granted CUP. Thus, it is staff's assessment that this finding can be made in this case.

**CONCLUSION:**

In light of the preceding analysis, it is staff's assessment that Commission approval is warranted for CUP 2018-003 and Site Plan Review 2018-025. City Planning Staff recommends approval in order to allow for the entitlement of a new four unit apartment development within the Mixed-Use Corridor District of SP-5.

Based on the above findings, City Planning Staff recommends that the Commission approve Conditional Use Permit 2018-003 and Site Plan Review 2018-025, pursuant to Planning and

Preservation Commission Resolution 2019-008, and the Conditions of Approval attached as Exhibit “A” to the resolution (Attachment “A”).

**ATTACHMENTS:**

- A. Planning and Preservation Commission Resolution 2019-008 and Exhibit “A”: Conditions of Approval
- B. Conditional Use Permit Application – CUP 2018-003, Site Plan Review Application 2018-025
- C. Set of Plans & Site Photographs
- D. Notice of Public Hearing Published in the *San Fernando Sun Newspaper* & Vicinity Map
- E. Public Works Comments

**RESOLUTION NO. 2019-008****A RESOLUTION OF THE PLANNING AND PRESERVATION COMMISSION OF THE CITY OF SAN FERNANDO APPROVING CONDITIONAL USE PERMIT 2018-003 AND SITE PLAN REVIEW 2018-025 TO ENTITLE A FOUR UNIT RESIDENTIAL APARTMENT COMPLEX WITHIN THE MIXED-USE CORRIDOR DISTRICT OF THE SAN FERNANDO CORRIDORS SPECIFIC PLAN ZONE (SP-5) LOCATED AT 1426 SAN FERNANDO ROAD**

WHEREAS, an application has been filed by Fred Partovi, P.O. Box 8312 Van Nuys, CA 91409 (the "Applicant"), to request for the approval of a Conditional Use Permit and Site Plan Review to entitle a four unit residential apartment complex within the Mixed-Use Corridor District of the San Fernando Corridors Specific Plan Zone (SP-5) located at 1426 San Fernando Road;

WHEREAS, the Applicant has requested approval of the requested conditional use permit pursuant to Table 4.1 of SP-5, which would allow for the entitlement of an apartment development as a conditionally permitted use. Outlined in SP-5, the proposed use meets the minimum development standards. The approval of the requested CUP would allow for the entitlement of a four unit residential apartment complex. Based on the foregoing, it is staff's assessment that the request is consistent with all applicable development standards for the Mixed-Use Corridor District within SP-5;

WHEREAS, the Planning and Preservation Commission has considered all of the evidence presented in connection with the Project, written and oral at the public hearing held on the 20<sup>th</sup> day of August 2019;

NOW, THEREFORE, BE IT RESOLVED that the Planning and Preservation Commission finds as follows:

SECTION 1: This project has been reviewed for compliance with the California Environmental Quality Act (CEQA) of 1970. Based on that assessment, the project has been determined to be Categorically Exempt under Section 15332 (Class 32 Infill Development Projects) of the State CEQA Guidelines; and

SECTION 2: The Project is consistent with the objectives, policies, and general land uses and programs provided in the City's General Plan and the applicable development standards of the Mixed-Use Corridor District within SP-5; and

SECTION 3: Pursuant to City Code Section 106-145, the Planning and Preservation Commission finds that the following findings for Conditional Use Permit 2018-003 and Site Plan Review 2018-025 have been justified and upheld in the affirmative in concurrence with the recommended conditions of approval regarding the entitlement of an existing apartment use. The Planning and Preservation Commission (the "Commission") findings are as follows:

- 1. The proposed use is one conditionally permitted within the subject zone and complies with all applicable sections of the zoning ordinance.**

Pursuant to Table 4.1 of the San Fernando Corridors Specific Plan, the Mixed Use Corridor District allows for the development of apartments as a conditionally permitted use. The approval of the requested CUP would allow for the proposed entitlement of a new four unit apartment development. The proposed development will not create a need for any variance from any development standards. Thus, it is staff's assessment that this finding can be made.

- 2. The proposed use would not impair the integrity and character of the zone in which it is to be located.**

The Project Site at 1426 San Fernando Road is located within the Mixed-Use Corridor District of SP-5 and maintains a Multi-Use land use designation in the General Plan Land Use Element. The proposed development will not create a need for any variance from any development standards. Pursuant to the City's General Plan Land Use Element, future uses that are envisioned for the area include the operation of a mixture of uses.

To ensure the protection and preservation of the surrounding neighborhood, while fostering and promoting growth in the zone, the City's standard conditions of approval would be included, which address potential issues associated with noise, trash and debris, and other public nuisance conditions. Noncompliance with the adopted conditions of approval would require the City to seek corrective action from the business owner and may lead to revocation of the required CUP. Thus, it is staff's assessment that this finding can be made.

- 3. The subject site is physically suitable for the type of land use being proposed.**

The Project Site is a 5,000 square foot lot or 0.11 acre parcel and is located on the southern side of San Fernando Road west of Workman Street and east of Huntington Street. The Project Site abuts similarly zoned properties within the Mixed-Use Corridor District of SP-5 to the north, south, east and west. Parking for the project will consist of two car enclosed garages for each unit. Thus, it is staff's assessment that this finding can be made.

- 4. The proposed use is compatible with land uses presently on the subject property.**

The Project Site is designated by the General Plan Land Use Element as Multi-Use. Currently the site is vacant and the development of this use will complement commercial, service and residential uses adjacent to this property. Thus, it is staff's assessment that this finding can be made.

- 5. The proposed use would be compatible with the existing and future land uses within the zone and the general area in which the proposed use is to be located.**

The San Fernando Corridors Specific Plan designates this site as the Mixed-Use Corridor District, where future uses envisioned for the area include the operation of residential, commercial and service uses. It is also intended to provide uses which are supportive of or provide a direct service to adjacent uses. Furthermore, under City's General Plan Land Use



Element, the Project Site is designated Multi-Use land use area, where future uses envisioned for the area include the operation of a mixture of activities such as commercial, residential, and service uses. The request to allow the apartment use would entitle the already existing Project Site. Thus, it is staff's assessment that this finding can be made.

**6. There would be adequate provisions for water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety.**

The existing site is currently vacant and will be adequately served by water, sanitation, and public utilities. Any required future improvements to infrastructure and public utilities with the change of occupancy would be required to be developed in compliance with the requirements of the City's building and health and safety codes, including any requirements for off-site improvements and utility connections from the City's Public Works Department. Thus, it is staff's assessment that this finding can be made.

**7. There would be adequate provisions for public access to serve the subject proposal.**

The Project Site at 5,000 square foot lot or 0.11 acre parcel will provide a single point of access from San Fernando Road. The existing driveway apron shall be closed and a new apron constructed per the City's Public Works Department specifications. The project shall provide a 24 foot driveway that will provide adequate ingress and egress to the. Thus, it is staff's assessment that this finding can be made.

**8. The proposed use would be appropriate in light of an established need for the use at the proposed location.**

Within the Mixed-Use Corridor District of SP-5, the operation of an apartment is a permitted use through the City's review and approval of a conditional use permit. The request to entitle a four unit apartment development is an appropriate and compatible use for the types of uses currently established and potentially permitted in the district. Pursuant to SP-5, the Mixed-Use Corridor District allows housing at densities high enough 1) to provide housing units that can serve the local population, 2) to generate developments that create a transit-orientated neighborhood and 3) activate a mixture of uses that will create a lively street activity. Approval of the CUP for the operation of an apartment development helps to promote development of residential uses which will complement multimodal forms of transportation. CUP approval at the Project Site will help draw new similar and complementary types of development to the area. Thus, it is staff's assessment that this finding can be made in this case.

**9. The proposed use is consistent with the objectives, policies, general land uses and programs of the City's General Plan.**

The City's General Plan Land Use Element designates the Project Site as Multi-Use land use area, a location where future uses envisioned for the area include the operation of more than one type of development. This division is designed to facilitate the development of commercial, residential, and service uses and increase business activity within the vicinity

and with adjacent land uses. It is also intended to provide a small town feel for the City of San Fernando and help maintain an identity within the area that is distinct from surrounding communities. Entitlement of the apartment development would meet the density standards and goals of the specific district to maintain a walkable pedestrian scaled environment and supports the Housing Element Goal 1.0, Policy 1.2, which looks to maintain and enhance the quality of existing neighborhoods by maintaining the character of the established neighborhood through the development of new residential units. The density for this site allows for a maximum of 37 dwelling units per acre. This site measures 0.11 acres, which would allow for a maximum of 4 units. Thus, it is staff's assessment that this finding can be made in this case.

**10. The proposed use would not be detrimental to the public interest, health, safety, convenience or welfare.**

The requested CUP to entitle four unit apartment use in the Mixed-Use Corridor District as established in Table 4.1 of SP-5 will not be detrimental to the public interest, health, safety, convenience or welfare due to the fact that the proposed use will be consistent with and complement established uses within the vicinity. The proposed entitlement will provide a new paved driveway, new landscaping and new enclosed parking which will serve the future tenants and provide an overall improvement to the vacant site. With the adoption of the recommended conditions of approval for the requested CUP, the applicant would be required to provide sufficient safeguards to deter any potential public nuisance issues and protect public interest, health, safety, convenience or welfare. Noncompliance with the conditions of approval for an approved CUP would require corrective action on behalf of the property owner and may result in revocation of the granted CUP. Thus, it is staff's assessment that this finding can be made in this case.

BE IT FURTHER RESOLVED that based upon the foregoing, the Planning and Preservation Commission hereby approves Conditional Use Permit 2018-003 and Site Plan Review 2018-025, subject to the Conditions of Approval attached as Exhibit "A".

**(SIGNATURE PAGE TO FOLLOW)**

PASSED, APPROVED AND ADOPTED this 20th day of August 2019.

\_\_\_\_\_,  
ALVIN DURHAM, CHAIRPERSON

ATTEST:

\_\_\_\_\_  
TIMOTHY T. HOU, AICP, SECRETARY TO THE PLANNING  
AND PRESERVATION COMMISSION

STATE OF CALIFORNIA       )  
COUNTY OF LOS ANGELES ) ss  
CITY OF SAN FERNANDO    )

I, TIMOTHY T. HOU, Secretary to the Planning and Preservation Commission of the City of San Fernando, do hereby certify that the foregoing Resolution was duly adopted by the Planning and Preservation Commission and signed by the Chairperson of said City at a meeting held on the 20<sup>th</sup> day of August 2019; and that the same was passed by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

\_\_\_\_\_  
TIMOTHY T. HOU, AICP, SECRETARY TO THE PLANNING  
AND PRESERVATION COMMISSION

**EXHIBIT “A”**  
**CONDITIONS OF APPROVAL**

**PROJECT NO.** : **Conditional Use Permit 2018-003**  
**Site Plan Review 2018-025**

**PROJECT ADDRESS** : 1426 San Fernando Road, San Fernando, CA 91340  
(Los Angeles County Assessor Identification No: 2521-003-006)

**PROJECT DESCRIPTION** : Approving Conditional Use Permit 2018-003 and Site Plan Review 2018-025 to entitle a four unit residential apartment complex within the Mixed-Use Corridor District of the San Fernando Corridors Specific Plan Zone (SP-5) located at 1426 San Fernando Road

The following conditions shall be made a part of the approval of the project, and shall be complied with in their entirety, as determined by the Community Development Department:

1. Conditional Use Permit Entitlement. The conditional use permit is granted for the land described in this application and any attachments thereto, as reviewed by the Planning and Preservation Commission on August 20, 2019, except as herein modified to comply with these Conditions of Approval.
2. Indemnification. The property owner and the project applicant, shall indemnify, protect, hold harmless and defend the City and any agency or instrumentality thereof, and/or any of its officers, employees and agents from any and all claims, actions, or proceedings against the City to attack, set aside, void, annul, seek monetary damages resulting from an approval of the City, or any agency or instrumentality thereof, advisory agency, appeal board or legislative body including actions approved by the voter of the City, concerning the entitlement application. City shall promptly notify both the property owner and developer of any claim, action, or proceeding to which this condition is applicable and shall further cooperate fully in the defense of the action. The City reserves its right to take any and all action the City deems to be in the best interest of the City and its citizens in regard to such defense. The property owner and developer shall defend, indemnify and hold harmless the City for all costs and fees incurred in additional investigation or study of, or for supplementing, redrafting, revising, or amending, any document (such as an environmental impact report or related environmental assessment) if made necessary through the initiation of the project.
3. Signage. No signage shall be allowed on the property. The only allowable signage permitted on a temporary basis shall be “For Lease” signage to indicate a vacancy at the property.
4. Revocation. Violation of, or noncompliance with, any of these conditions of approval may constitute grounds for revocation of this conditional use permit, as provided below:
  - a. Upon the issuance of, and conviction for, three zoning violation citations;
  - b. Where conditions and activities associated with the operation of the future tenant, as defined herein, interfere with the quiet enjoyment of life and property in the neighborhood, or are or tend

to be, injurious to health and safety of persons in the neighborhood. These include, but are not limited to the following:

- i. Excessive noise, noxious smells or fumes, loitering, littering, disturbing the peace, illegal drug activity, public vandalism, graffiti, lewd conduct, gambling, illegal parking, traffic violations, theft, assaults, batteries;
  - ii. Police detention, citation, and/or arrests for these or any other unlawful activity attributed to the sale and/or consumption of illegal items declared by the City to be a public nuisance;
5. Property Maintenance. The subject site and its immediate surrounding area shall be maintained in a clean, neat and orderly manner at all times and shall comply with the property maintenance standards as set forth in the San Fernando City Code.
6. Occupancy per Approval. The subject property shall be improved in substantial conformance with the site plan, exterior elevations, floor plans, and landscape plan, as reviewed by the Planning and Preservation Commission on August 20, 2019, except as herein modified to comply with these Conditions of Approval.
7. Trash Enclosure. The trash enclosure shall be placed in the designated confined area within the property as well as off of public property except for trash collection activities. The trash enclosure shall be located on-site in conformance with the site plan and will be covered, landscaped and screened per Community Development Department approval.
8. Landscape. All proposed on-site and off-site plantings shall be kept in a healthy and growing condition, consistent with the design of a landscaping and irrigation plan approved by the Community Development Department. Fertilization, cultivation, tree pruning shall be a part of regular maintenance. Good horticultural practices shall be followed in all instances. The landscape design shall be further refined as necessary to improve the level of design quality by focusing on important design principles. Further landscape design refinements shall address, but not be limited to, the following:
  - a) The landscaping shall be provided with an appropriate low-maintenance landscape design and material selection that is attractive, durable and drought-tolerant. All proposed landscaping shall be arranged to emphasize visual attractiveness as viewed from the public right-of-way.
  - b) All proposed landscaped areas shall be served by well-balanced automatic irrigation system operated by an electrically timed controller station set for early morning irrigation and maintained in a manner consistent with the approved landscape plan. The final landscaping/irrigation plan shall identify the size and location of all landscape materials and irrigation equipment. Water conservation measures shall be incorporated in the irrigation plan;
  - c) The landscape plan shall provide specifications for the following: design of hardscape elements, including pedestrian walkways, paved areas, common areas, seating, landscape planters, lighting, etc.; planting materials, including, trees, shrubs, ground cover, grass, miscellaneous plant materials, landscape containers and soil preparation; and, automatic irrigation plans, including materials and details.

9. SCAQMD. South Coast Air Quality Management District ("SCAQMD") must be contacted prior to any demolition, excavation or renovation. Call (909) 396-2000 for further information. Failure to comply with the provisions of Rule 1403 may result in a penalty of up to \$25,000 per day. Once approval from SCAQMD has been obtained, a City of San Fernando Demolition Permit is required for any existing buildings or structures which are to be demolished and must be obtained prior to any work commencing.
10. Surface Runoff. All requirements of the National Pollutant Discharge Elimination System (NPDES) shall be complied with and an NPDES permit, including but not limited to the installation of any required clarifiers and/or on-site infiltration system, must be obtained prior to any occupation or use of the site. During construction, the Project Site shall comply with all applicable Best Management Practices (BMPs).
11. General Compliance. The applicant shall comply with all requirements of applicable federal, state, or local law, ordinance, or regulation.
12. Construction Hours. Construction activity on Mondays through Fridays shall comply with the current San Fernando City Code standards for construction of 7:00 a.m. to 6:00 p.m. In addition, any construction on Saturday shall be from 8:00 a.m. to 6:00 p.m. Unless otherwise allowed in the City's Noise Ordinance, no construction shall be allowed on Sundays and Federal Holidays.
13. Graffiti Removal. Unless otherwise specified in the conditions of approval, the property owner(s), operator and all successors shall comply with the graffiti removal and deterrence requirements of the San Fernando City Code. The property owner(s), operator and all successors shall provide for the immediate removal of any graffiti vandalism occurring on the property and, where applicable, the restoration of the surface on which the graffiti exists. Such restoration shall entail repainting or refinishing of the surface with a color or finish that matches the color or finish of the remaining portions of the structure being painted, and including treatment of the surface or site with measures to deter future graffiti vandalism as approved or required by the community development department. Property owner(s), operator and all successors shall maintain an additional stock of exterior paints and finishes for immediate execution of graffiti removal. Unless removed by the property owner or their designee within the specified time frame required by city code, property owner(s), operator and all successors shall grant the right of access to authorized agents of the City of San Fernando to remove graffiti from any surface on the property that is open and accessible from City property or public right-of-way, at the expense of the owner(s) or operator and all successors.
14. Site Inspections. The Community Development Department shall have the authority to inspect the site to assure compliance with these conditions of approval. The applicant and all successors shall grant the right of access to authorized agents of the City of San Fernando to conduct periodic inspections of the property.
15. Modifications. Unless the Director of Community Development deems a proposed change to the approved plans and operation a minor modification, any and all other modifications to the development plan, including these conditions of approval, shall require review and approval by the Planning and Preservation Commission. Expansion or enlargement of the activity beyond the thresholds permitted by this entitlement shall be subject to the CUP modification approval process.

16. Acceptance. Within thirty (30) days of approval of this conditional use permit, the applicant or their duly authorized representative shall certify the acceptance of the conditions of approval by signing a statement using an acceptance affidavit form provided by the City of San Fernando that acknowledges acceptance of and commitment to adhere to all of the conditions of approval.
17. Recordation. The applicant shall provide the Community Development Department with proof that the conditions of approval have been recorded with the Los Angeles Registrar Recorder/County Clerk's Office.
18. Building Code Requirements. The applicant shall comply with all applicable building and construction requirements of the City of San Fernando's building codes, as specified by the City's Community Development Department.
19. Expiration. This conditional use permit shall become null and void unless exercised by obtaining building permits to implement the construction granted by this entitlement within twelve (12) months of final approval. Additional time in increments of six (6) months at a time may be granted, at the discretion of the Community Development Department Director.





## SITE PLAN REVIEW/ PLANNING REVIEW APPLICATION

### DEVELOPMENT REVIEW PROCESS

The Development Process is used to review all project proposals (i.e., residential, commercial, industrial, and conditionally permitted uses). The process enables various City Departments and Divisions (i.e., Planning, Building, Public Works, Police, and Fire) to thoroughly analyze each proposal for conformity with the provisions established in the City's Municipal Code.

Additionally, the review process is to ensure consistency with applicable development standards, design guidelines, and building code requirements, as well as that each development proposal is designed to be compatible with any existing structures and uses on-site and/or the neighboring properties. In this way, the quality and economic health of the City's residential, commercial, and industrial districts are maintained.

### PRE-SUBMITTAL REVIEW (INFORMAL)

- Step 1** Applicant discusses project proposal with Planning Division.
- Step 2** Planning Division directs applicant to appropriate City Departments and Divisions for preliminary discussion requirements.
- Step 3** Planning Division advises applicant on steps necessary to receive final project approval (i.e., Staff level approval, Planning Commission, Redevelopment Agency).

#### What a Pre-submittal Review Can Do:

- Identify potential development issues or adverse environmental impacts with the proposed development.
- Provide possible alternatives or potential mitigation measures for identified issues with the proposed development.
- Provide general interpretation of the code and methods of compliance utilized on previous developments.

#### What a Pre-submittal Review Cannot Do:

- Predict the outcome of the actual Site Plan Review.
- Reveal all potential issues which may arise for a proposed development.
- Identify all mitigation measures at this step of the review process.

### SITE PLAN REVIEW PROCESS

- Step 4** Applicant submits **two (2)** sets of site plan, conceptual landscape plan, floor plan, roof plan, and elevation drawings along with a **CD containing these documents as an electronic file (Adobe PDF file format)** to the Planning Division accompanied by a complete Site Plan Review application and required filing fees. Submitted set of drawings must be stapled and pre-folded to approximately 8½ x 11 inches.
- Step 5** **FILING FEE: \$1,939.30** for a Site Plan Review. A **\$970.20** filing fee would apply to a single family detached dwelling on one lot with residing owner occupant who is proposing an addition of  $\geq 50\%$  of the existing square feet of the living area. A **\$264.00** filing fee would apply to a single family detached dwelling on one lot with residing owner occupant who is proposing an addition of  $\leq 49\%$  of the existing square feet of the living area.
- A **\$75.00** check made payable to the Los Angeles County Registrar/Recorder will be required for recordation of the environmental assessment for the approved project.
- Step 6** Planning Division routes the project plans to various City Departments and Divisions for review and comment. A meeting is held with various Departments and Divisions to review and discuss the project proposal. **(Approximately 4 weeks).**
- Step 7** Planning Division transmits comments and informs applicant of next process for final project approval. If any corrections and/or additional information are required, staff will provide a written summary to the applicant. The plans must then be corrected and resubmitted to the Planning Division for further review.



## FINAL REVIEW PROCESS

- Step 8** Planning Division determines required process for final project approval.
- Step 9** If the project does not require any other review or approvals, the project may be submitted to the Building Division for Plan Checking (skip to step 11). However, if the project requires Planning Commission (i.e., Conditional Use Permit, Variance, General Plan Amendment, Zone Change, and Subdivision) or Redevelopment Agency approval, proceed to next step.
- Step 10** Submit **seventeen (17)** sets of site plan, conceptual landscape plan, floor plan, roof plan, and elevation drawings to the Planning Division accompanied by the City-provided application and required filling fee (to include environmental fee).
- Step 11** Planning Division schedules the project to be reviewed by the appropriate hearing body. If approved, the plans, with any required revisions, may be submitted to the Building Division for Plan Checking. **(Approximately 3 weeks).**

## PLAN CHECKING AND PERMIT ISSUANCE

- Step 12** Applicant submits **two (2)** sets of complete construction plans and documentation to the Building Division with the required Plan Check fee. Prior to acceptance by the Building Division, the Planning Division shall review the plans to ensure that they include any and all requested revisions. Building Division routes plans to other Departments and/or Divisions for review and approval. **(Approximately 3 weeks)**
- Step 13** The plans are reviewed for compliance with applicable City and State Uniform Building and Fire Codes. If any deficiencies are noted, the plans must be corrected and resubmitted to the Building Division for further review. However, if the plans are approved or approved with conditions, building permits may be obtained.
- Step 14** Once the plans have received Building Division approval and all other Division and Department (i.e., Planning, Public Works, Fire, etc.) approvals, building permits may be issued. The building permit fee is based on the valuation of the proposed development. This is determined by the type of construction and cost per square foot as adopted in the City's fee schedule. Also, any Public Works fees must be paid at this time. Additionally, the applicant is required to pay a school fee (\$x.xx/sq. ft. of building area) to the Los Angeles Unified School District. Upon completion of construction a Certificate of Occupancy will be granted.

Decisions of City Staff may be appealed to the Planning Commission. Additionally, decisions of the Planning Commission are appealed to the City Council. Appeals must be filed with the City Clerk within ten (10) days of the decision. The fee to appeal a decision is ½ the application fee. The City's Planning Division will coordinate the entire development review process.

**PROPOSED DEVELOPMENT REVIEW CHECKLIST** *The following checklist will aid the Planning Division in determining the level of review required for the proposed development submittal.*

Does the project propose new, altered, or the replacement of any of the following:	
Electrical, mechanical, and/or plumbing fixtures and systems	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Roofing material (no structural changes to roof design)	<input type="checkbox"/> YES <input type="checkbox"/> NO
Change of window(s) (not materially altering the appearance or character of the structure)	<input type="checkbox"/> YES <input type="checkbox"/> NO
Does the project propose <u>any</u> interior alterations (does not increase square footage or building height)?	<input type="checkbox"/> YES <input type="checkbox"/> NO
Does the project propose new landscaping and/or hardscaping (including plant materials, driveways, walkways, and planters)?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Does the project propose the removal of any mature trees?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Does the project propose any new and/or additional business identification signage?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Does the project propose any new wall or fence construction?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Does the project proposal require any building demolition?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Does the project propose the construction of any carport or garage?	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO

## PROPOSED DEVELOPMENT REVIEW CHECKLIST (CONTINUED)

Does the project propose to enclose a porch or staircase?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Does the project propose a new and/or additional deck, patio cover, or trellis?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
Is the project proposed on a vacant parcel of land?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
Is an accessory dwelling unit proposed?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Does the project propose new <u>residential</u> , commercial, industrial, or institutional buildings?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO
Is any proposed accessory structure greater than 400 square feet?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Does the project propose an additional residential unit in an existing residential development?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Does the project propose a primary residential building that will be larger than the average of structures in the immediate vicinity in the same zone?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Is <u>any</u> change in use proposed (i.e.: residential to commercial, single-family to multi-family, etc)?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Will the proposal expand or intensify a current land use?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Does the proposal include a façade improvement that would compromise or significantly alter the original character of the structure?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Does the project propose an addition greater than 50% of the existing square footage of the structure?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Will the proposal increase vehicular traffic resulting in a change of traffic volume or patterns in the area, parking, noise, lighting, etc.?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
Does the proposal include <u>any</u> addition in square footage to a commercial, industrial, or institutional building?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO

## SITE PLAN SUBMITTAL REQUIREMENTS – CONTENT OF THE SITE PLAN

The site plan shall indicate clearly and will full dimensions the following information:

- (1) Lot dimensions, setbacks, yards, and open space.
- (2) Existing and proposed buildings and structures, including location, size, height, number of stories, proposed use, and location of doors.
- (3) Distance between proposed structure and any off-site structure located within 10 feet of the property line on adjacent lots.
- (4) Walls, fences, and landscaping: location, height, and materials.
- (5) Off-street parking: location, dimensions of parking area, number of spaces, arrangement of spaces, and internal circulation pattern.
- (6) Access: pedestrian, vehicular, service; and definitions of all points of ingress and egress.
- (7) North arrow, scale, and site address.
- (8) Loading areas: location, dimensions, number of spaces, internal circulation, and access from public streets.
- (9) Lighting: including general nature, location, and hooding devices.
- (10) Existing and proposed off-site improvements: including location of utility poles, fire hydrant, street lights, street trees, parkway landscape, and water meter.
- (11) Landscaping: including existing mature trees and proposed trees and plant materials.
- (12) Outdoor storage and activities if permitted in the zone: including type, location, and height of screening devices.
- (13) Drainage and grading plan.
- (14) Such other data as may be required to assist the planning director to act on the plan.



## APPLICANT INFORMATION

APPLICANT NAME

PHONE NUMBER

MAILING ADDRESS

EMAIL ADDRESS

FAX NUMBER

## PROJECT INFORMATION

SITE ADDRESS

REQUEST (WHAT IS BEING APPLIED FOR)

ASSESSORS PARCEL NUMBER(S) "APN"

BUILDING SIZE

BUILDING ADDITION (IF ANY)

PARKING AVAILABLE (NUMBER)

LANDSCAPING PROVIDED (IN SQUARE FEET)

## PROPERTY OWNER INFORMATION

PROPERTY OWNER NAME

PHONE NUMBER

MAILING ADDRESS

EMAIL ADDRESS

FAX NUMBER

## SIGNATURES

APPLICANT SIGNATURE

PROPERTY OWNER SIGNATURE

## FOR OFFICE USE ONLY

DATE FILED

ACCEPTED BY

CASE NO.

ZONING

GPA



## ENVIRONMENTAL INFORMATION FORM (APPLICANT)

## GENERAL INFORMATION

1. NAME AND ADDRESS OF DEVELOPER OR PROJECT SPONSOR

1426 Sanfernando Rd

P.O. box 8312 Van Nuys CA 91411

2. ADDRESS OF PROJECT

1426 San fernando Rd

ASSESSOR'S BLOCK AND LOT NUMBER

3. NAME, ADDRESS, AND TELEPHONE NUMBER OF PERSON TO BE CONTACTED CONCERNING THIS PROJECT

FRED PARROTI, 818-652-1276

4. LIST AND DESCRIBE ANY OTHER RELATED PERMITS AND OTHER PUBLIC APPROVALS REQUIRED FOR THIS PROJECT, INCLUDING THOSE REQUIRED BY CITY, REGIONAL, AND FEDERAL AGENCIES

5. EXISTING ZONING DISTRICT

6. PROPOSED USE OF SITE (PROJECT FOR WHICH THIS FORM IS FILLED)

4 UNIT APT.

## PROJECT DESCRIPTION

7. SITE SIZE

50' X 100'

8. SQUARE FOOTAGE

5000

9. NUMBER OF FLOORS OF CONSTRUCTION

3

10. AMOUNT OF OFF-STREET PARKING PROVIDED

11. PROPOSED SCHEDULING

Start Dec/2018

12. ASSOCIATED PROJECTS

1011 7th St, 1313 Glen Oaks, 1616 2nd St, 1426 Woodward

13. ANTICIPATED INCREMENTAL DEVELOPMENT

14. IF RESIDENTIAL, INDICATE THE NUMBER OF UNITS, SCHEDULE OF UNIT SIZES, RANGE OF SALE PRICES OR RENTS, AND TYPE OF HOUSEHOLD SIZE EXPECTED

4, 2 bedroom APT, 1800- month, family w/ 3

15. IF COMMERCIAL, INDICATE THE TYPE, WHETHER NEIGHBORHOOD, CITY OR REGIONALLY ORIENTED, SQUARE FOOTAGE OF SALES AREA, AND LOADING FACILITIES

N/A

16. IF INDUSTRIAL, INDICATE TYPE, ESTIMATED EMPLOYMENT PER SHIFT, AND LOADING FACILITIES

N/A

17. IF INSTITUTIONAL, INDICATE THE MAJOR FUNCTION, ESTIMATED EMPLOYMENT PER SHIFT, ESTIMATED OCCUPANCY, LOADING FACILITIES, AND COMMUNITY BENEFITS TO BE DERIVED FROM THE PROJECTS

N/A

**PROJECT DESCRIPTION (CONTINUED)**

18. IF THE PROJECT INVOLVES A VARIANCE, CONDITIONAL USE OR REZONING APPLICATION, STATE THIS AND INDICATE CLEARLY WHY THE APPLICATION IS REQUIRED

N/A

**ENVIRONMENTAL SETTING** Please attach a brief description of the property involved (#19) and the surrounding area (#20). This can be very short and simple, a paragraph for each item.

19. ON A SEPARATE PAGE, DESCRIBE THE PROJECT SITE AS IT EXISTS BEFORE THE PROJECT, INCLUDING INFORMATION ON TOPOGRAPHY, SOIL STABILITY, PLANTS AND ANIMALS, AND ANY CULTURAL, HISTORICAL OR SCENIC ASPECTS. DESCRIBE ANY EXISTING STRUCTURES ON THE SITE, AND THE USE OF THE STRUCTURES. ATTACH PHOTOGRAPHS OF THE SITE. *vacant plot land*

20. ON A SEPARATE PAGE, DESCRIBE THE SURROUNDING PROPERTIES, INCLUDING INFORMATION ON PLANTS AND ANIMALS AND ANY CULTURAL, HISTORICAL OR SCENIC ASPECTS. INDICATE THE TYPE OF LAND USE (RESIDENTIAL, COMMERCIAL, ETC.), INTENSITY OF LAND USE, AND SCALE OF DEVELOPMENT (HEIGHT, FRONTAGE, SET-BACK, REAR YARD, ETC.). ATTACH PHOTOGRAPHS OF THE VICINITY. *none*

**ENVIRONMENTAL IMPACT** Are the following items applicable to the project or its effects? Discuss all items below checked "yes" (attach additional sheets as necessary).

- |                                                                                                                           |                              |                                        |
|---------------------------------------------------------------------------------------------------------------------------|------------------------------|----------------------------------------|
| 21. CHANGE IN EXISTING FEATURES OF ANY BAYS, TIDELANDS, BEACHES, OR HILLS, OR SUBSTANTIAL ALTERATION OF GROUND CONTOURS?  | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |
| 22. CHANGE IN SCENIC VIEWS OR VISTAS FROM EXISTING RESIDENTIAL AREA OR PUBLIC LANDS OR ROADS?                             | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |
| 23. CHANGE IN PATTERN, SCALE OR CHARACTER OF GENERAL AREA OF THE PROJECT?                                                 | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |
| 24. SIGNIFICANT AMOUNTS OF SOLID WASTE OR LITTER?                                                                         | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |
| 25. CHANGE IN DUST, ASH, SMOKE, FUMES, OR ODORS IN VICINITY?                                                              | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |
| 26. CHANGE IN OCEAN, BAY, LAKE, STREAM, OR GROUND WATER QUALITY OR QUANTITY, OR ALTERATION OF EXISTING DRAINAGE PATTERNS? | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |
| 27. SUBSTANTIAL CHANGE IN EXISTING NOISE OR VIBRATION LEVELS IN THE VICINITY?                                             | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |
| 28. SITE ON FILLED LAND OR SLOPE OF 10 PERCENT OR MORE?                                                                   | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |
| 29. USE OF DISPOSAL OF POTENTIALLY HAZARDOUS MATERIALS SUCH AS TOXIC SUBSTANCES, FLAMMABLES OR EXPLOSIVES?                | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |
| 30. SUBSTANTIAL CHANGE IN DEMAND FOR MUNICIPAL SERVICES (POLICE, FIRE, WATER, SEWAGE, ETC.)?                              | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |
| 31. SUBSTANTIAL INCREASE IN FOSSIL FUEL CONSUMPTION (ELECTRICITY, OIL, NATURAL GAS, ETC.)?                                | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |
| 32. RELATIONSHIP TO LARGER PROJECT OR SERIES OF PROJECTS?                                                                 | <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO |

**CERTIFICATION** I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements, and information presented are true and correct to the best of my knowledge and belief.

APPLICANT NAME

APPLICANT SIGNATURE

DATE

*SPED PARTOVI**[Signature]**Jul 15/18*



## CONDITIONAL USE PERMIT APPLICATION

### REQUIREMENTS

#### TO THE APPLICANT:

Please provide the following materials for your application. A complete application package will expedite your public hearing before the Planning and Preservation Commission. A complete package consists of the following:

1. A completed Conditional Use Permit application (Page 5) signed by the applicant and property owner. If the applicant owns the property, please sign on both lines.
2. A complete site plan and, if required, building elevations. (Planning staff will determine whether elevations are necessary for a specific application.) Site plan specifications are attached.
3. A 500-foot radius map (one copy) and ownership list and mailing labels (two sets). A sample radius map is attached. The ownership list should be numbered and keyed to the map, so that referring to the ownership list can readily identify a parcel's owner. An example is attached. **(Please note:** Unless specified, zoning and land uses are not required as part of the radius map information.)
4. An environmental information sheet and checklist. This is required whether or not a project is exempt from the California Environmental Quality Act, as it provides information necessary for that determination.

#### 5. FILING FEES:

CONDITIONAL USE PERMIT APPLICATION	\$	3,005.00
ACTIVITY INFORMATION MANAGEMENT	\$	300.50
SYSTEM (AIMS) SURCHARGE		
ENVIRONMENTAL ASSESSMENT (A)	\$	204.00
PUBLIC NOTIFICATION	\$	120.00
LEGAL PUBLISHING OF NOTICE (B)	\$	600.00
<b>TOTAL FILING FEE</b>	<b>\$</b>	<b>4,229.50</b>

- a) The environmental assessment fee covers the preliminary assessment of your proposal. If your proposal is deemed to be categorically exempt, no further assessment is required. If a project is not categorically exempt and environmental documentation is required (e.g. - Negative Declaration, Mitigated Negative Declaration, or Environmental Impact Report), then the applicant is responsible for the additional cost. When applicable, proposals requiring environmental filing will require that a notice be filed with the Los Angeles County Clerk. The filing fee for recordation of environmental documents is \$75.
- b) For legal publishing of notices: If the cost to publish legal notices pertaining to the proposal exceeds \$600 then the applicant will be billed accordingly.

**Please fill out application as completely as possible. Planning staff will assist with the application, when necessary. However, it is essential that the radius map and mailing list be complete when submitted. An incorrect map or mailing list nullifies the public hearing and any decision made by the Planning and Preservation Commission.**

For questions and assistance, please call the Community Development Department at (818) 898-1227. Assistance is also available at the zoning counter during normal business hours.

### RADIUS MAP

The intent of the State law requiring notification of property owners within 500 feet of a zoning application is to clearly inform those owners of a project that could affect them. The law requires that the latest updated County Assessor's rolls be utilized. Property owners or their representatives must prepare ownership lists or the applicant may buy this service from the several companies that specialize in such work.

A sample radius map is attached, as well as an affidavit of the person who prepares the mailing list. That person must complete and sign the affidavit. A valid ownership list consists of the following:

1. Consecutive parcel numbers keyed to the map, so that it may easily be determined whether a specific property's owner was legally notified;
2. The assessor's book, page and parcel number (APN) for each parcel;
3. The name and mailing address of each property owner;

PROJECT INFORMATION			
SITE ADDRESS(ES) 1426 San fernanda Rd Ca 91340			
ASSESSORS PARCEL NUMBER(S) "APN" 2521-003-006			
LOT SIZE 50'x100'		EXISTING BUILDING (SQUARE FOOTAGE) VACANT land	
PROPOSED ADDITION (SQUARE FOOTAGE) New, about 1200.89 ft		TOTAL PARKING SPACES (ON-SITE/OFF-SITE) eight (8)	
PROPOSED USE(S) APARTMENTS, 4 UNITS		LANDSCAPING (SQUARE FOOTAGE)	
PROJECT DESCRIPTION/TYPE OF CONDITIONAL USE PERMIT REQUEST <i>Include any additional information on separate sheet and attach to the back of this application</i> Build 4, new 3 story APTS. Three are attached and one is detached			
APPLICANT INFORMATION			
APPLICANT NAME S.F.R.D. Holding, LLC. FRED ARJOVI		PHONE NUMBER	
MAILING ADDRESS 8312 P.O. box 8312 Vonnys Ca 91409			
FAX NUMBER 818-783-3872		EMAIL ADDRESS	SIGNATURE
PROPERTY OWNER INFORMATION			
PROPERTY OWNER NAME S.F.R.D. Holding, LLC		PHONE NUMBER 818-652-1276	
MAILING ADDRESS P.O. box 8312 Vonnys Ca 91409			
FAX NUMBER 818-783-3872		EMAIL ADDRESS info@midlandinc.com	SIGNATURE
FOR OFFICE USE ONLY			
CUP APPLICATION \$ 3,005.00	ZONE SP-5 (MUG)	GENERAL PLAN AREA	FILE NUMBER
AIMS SURCHARGE \$ 300.50	DATE FILED 7/5/18		CUP NO. CUP 2018-003
ENVIRONMENTAL \$ 204.00	ACCEPTED BY GM		AIMS NO.
NOTIFICATION \$ 120.00			CROSS REFERENCE
PUBLISHING \$ 600.00			SPR NO. 2018-025
TOTAL FEE \$4,229.50			VAR NO.
COMMENTS			OTHER



**ENVIRONMENTAL INFORMATION FORM (APPLICANT)**

**GENERAL INFORMATION**

1. NAME AND ADDRESS OF DEVELOPER OR PROJECT SPONSOR

Midland Contractors, P.O. box 8312, Van Nuys Ca 91489  
91340

2. ADDRESS OF PROJECT

1426 San Fernando Rd

3. ASSESSOR'S BLOCK AND LOT NUMBER

4. NAME, ADDRESS, AND TELEPHONE NUMBER OF PERSON TO BE CONTACTED CONCERNING THIS PROJECT

FRED PARLOVI, 818-652-1276

5. LIST AND DESCRIBE ANY OTHER RELATED PERMITS AND OTHER PUBLIC APPROVALS REQUIRED FOR THIS PROJECT, INCLUDING THOSE REQUIRED BY CITY, REGIONAL, AND FEDERAL AGENCIES

6. EXISTING ZONING DISTRICT

7. PROPOSED USE OF SITE (PROJECT FOR WHICH THIS FORM IS FILLED)

4 unit Apartments

**PROJECT DESCRIPTION**

8. SITE SIZE

50' x 100'

9. SQUARE FOOTAGE

5000.

10. NUMBER OF FLOORS OF CONSTRUCTION

3

INCORPORATED  
AUG 31 1911

11. AMOUNT OF OFF-STREET PARKING PROVIDED

12. PROPOSED SCHEDULING

Dec 2018

13. ASSOCIATED PROJECTS

1011 7th St, 1401 & 1407 Celis St, 1426 Woodward, 1313 Glen Oaks  
1616 2nd St

15. IF RESIDENTIAL, INDICATE THE NUMBER OF UNITS, SCHEDULE OF UNIT SIZES, RANGE OF SALE PRICES OR RENTS, AND TYPE OF HOUSEHOLD SIZE EXPECTED

4 units, 2 bedroom, 1200.-/month family of 3

16. IF COMMERCIAL, INDICATE THE TYPE, WHETHER NEIGHBORHOOD, CITY OR REGIONALLY ORIENTED, SQUARE FOOTAGE OF SALES AREA, AND LOADING FACILITIES

N/A

17. IF INDUSTRIAL, INDICATE TYPE, ESTIMATED EMPLOYMENT PER SHIFT, AND LOADING FACILITIES

N/A

**PROJECT DESCRIPTION (CONTINUED)**

18. IF INSTITUTIONAL, INDICATE THE MAJOR FUNCTION, ESTIMATED EMPLOYMENT PER SHIFT, ESTIMATED OCCUPANCY, LOADING FACILITIES, AND COMMUNITY BENEFITS TO BE DERIVED FROM THE PROJECTS

N/A

19. IF THE PROJECT INVOLVES A VARIANCE, CONDITIONAL USE OR REZONING APPLICATION, STATE THIS AND INDICATE CLEARLY WHY THE APPLICATION IS REQUIRED

**ENVIRONMENTAL SETTING** Please attach a brief description of the property involved (#19) and the surrounding area (#20). This can be very short and simple, a paragraph for each item.

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Vacant lot, no trees, or anything else

21. ON A SEPARATE PAGE, DESCRIBE THE SURROUNDING PROPERTIES, INCLUDING INFORMATION ON PLANTS AND ANIMALS AND ANY CULTURAL, HISTORICAL OR SCENIC ASPECTS. INDICATE THE TYPE OF LAND USE (RESIDENTIAL, COMMERCIAL, ETC.), INTENSITY OF LAND USE, AND SCALE OF DEVELOPMENT (HEIGHT, FRONTAGE, SET-BACK, REAR YARD, ETC.). ATTACH PHOTOGRAPHS OF THE VICINITY.

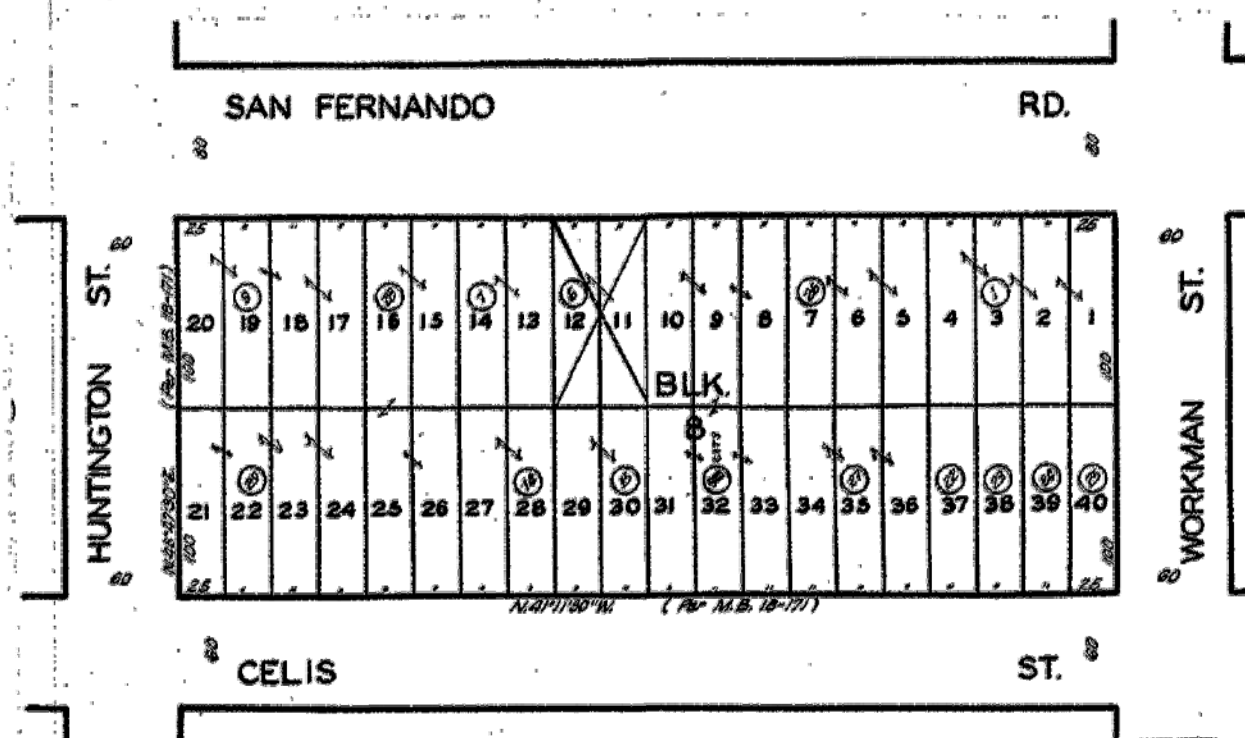
**ENVIRONMENTAL IMPACT** Are the following items applicable to the project or its effects? Discuss all items below checked "yes" (attach additional sheets as necessary).

22. CHANGE IN EXISTING FEATURES OF ANY BAYS, TIDELANDS, BEACHES, OR HILLS, OR SUBSTANTIAL ALTERATION OF GROUND CONTOURS?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
23. CHANGE IN SCENIC VIEWS OR VISTAS FROM EXISTING RESIDENTIAL AREA OR PUBLIC LANDS OR ROADS?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
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25. SIGNIFICANT AMOUNTS OF SOLID WASTE OR LITTER?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
26. CHANGE IN DUST, ASH, SMOKE, FUMES, OR ODORS IN VICINITY?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
27. CHANGE IN OCEAN, BAY, LAKE, STREAM, OR GROUND WATER QUALITY OR QUANTITY, OR ALTERATION OF EXISTING DRAINAGE PATTERNS?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
28. SUBSTANTIAL CHANGE IN EXISTING NOISE OR VIBRATION LEVELS IN THE VICINITY?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
29. SITE ON FILLED LAND OR SLOPE OF 10 PERCENT OR MORE?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
30. USE OF DISPOSAL OF POTENTIALLY HAZARDOUS MATERIALS SUCH AS TOXIC SUBSTANCES, FLAMMABLES OR EXPLOSIVES?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
31. SUBSTANTIAL CHANGE IN DEMAND FOR MUNICIPAL SERVICES (POLICE, FIRE, WATER, SEWAGE, ETC.)?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
32. SUBSTANTIAL INCREASE IN FOSSIL FUEL CONSUMPTION (ELECTRICITY, OIL, NATURAL GAS, ETC.)?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
33. RELATIONSHIP TO LARGER PROJECT OR SERIES OF PROJECTS?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO

**CERTIFICATION** I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements, and information presented are true and correct to the best of my knowledge and belief.

APPLICANT NAME <i>FRED BARROSI</i>	APPLICANT SIGNATURE <i>[Signature]</i>	DATE <i>July 5/18</i>
---------------------------------------	-------------------------------------------	--------------------------





ZONING: SP-5  
MIXED-USE CORRIDOR DISTRICT

USE: MULTI-FAMILY RESIDENTIAL  
LOT SIZE: 50' X 100'  
LOT AREA: 5,000 Sq. Ft.  
MAX. LOT COVERAGE: 3,000 Sq. Ft.  
TYPE OF CONSTRUCTION: V-B  
OCCUPANCY: R1/U

ASSESSORS PARCEL: 2521-003-006

TRACT: PORTER LAND & WATER CO  
RESURVEY OF SAN FERNANDO OF  
LOT 11 & 12 BLOCK:

EXISTING STRUCTURES  
(E) VACANT LOT 0 Sq. Ft.

PROPOSED CONSTRUCTION  
(N) 4 GARAGE 1,680 Sq. Ft.  
EACH: 420 Sq. Ft.

LIVING SPACE  
(N) 1<sup>ST</sup> FLOOR: 2,070 Sq. Ft.  
(N) 2<sup>ND</sup> FLOOR: 1,808 Sq. Ft.  
(N) 3<sup>RD</sup> FLOOR: 2,101 Sq. Ft.

APARTMENT UNITS  
(N) UNIT 1: 996 Sq. Ft.  
(N) UNIT 2: 1,016 Sq. Ft.  
(N) UNIT 3: 964 Sq. Ft.  
(N) UNIT 4: 933 Sq. Ft.

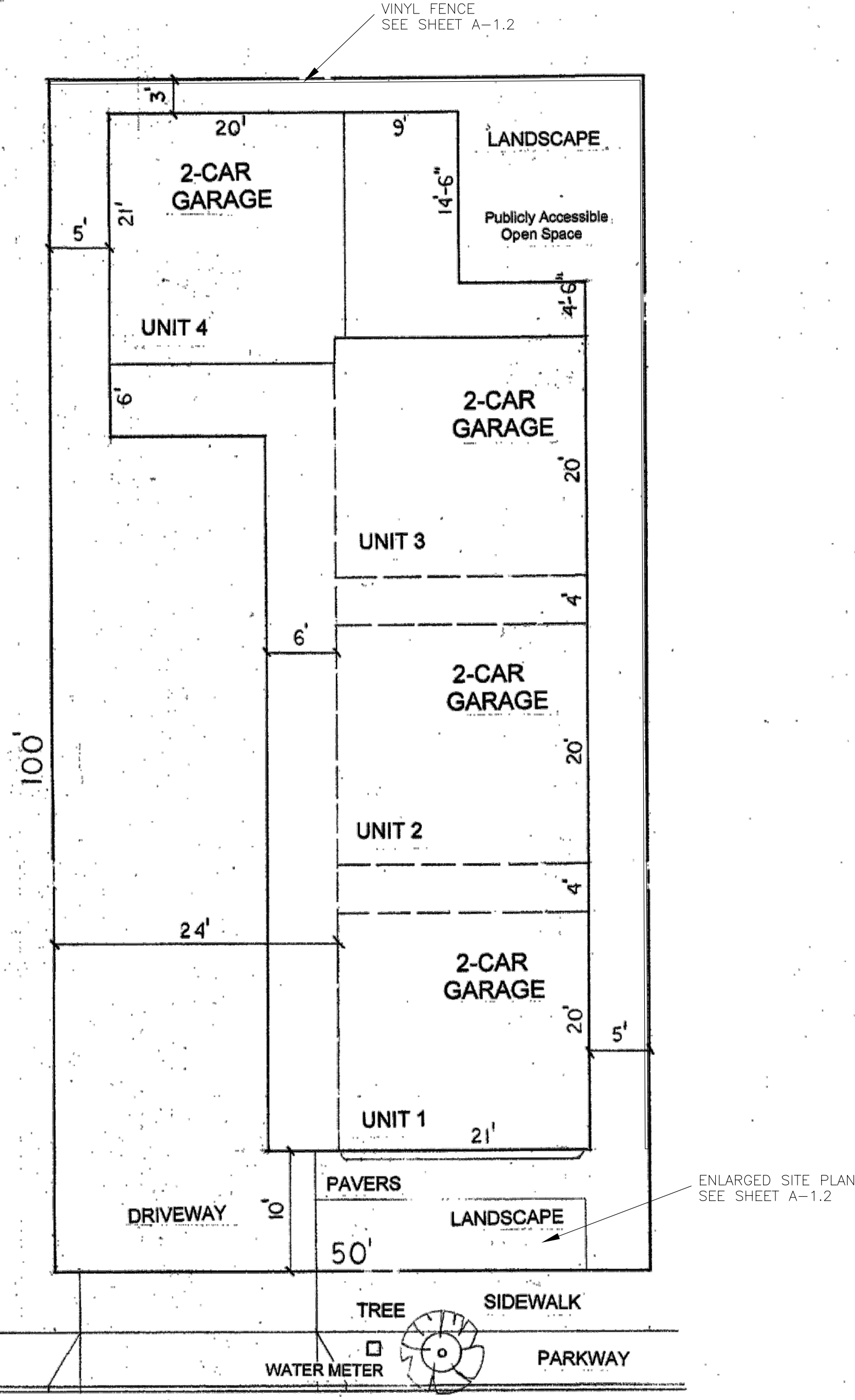
PRIVATE OPEN SPACE  
(N) UNIT 1 BALCONY 80 Sq. Ft.  
(N) UNIT 2 BALCONY 80 Sq. Ft.  
(N) UNIT 3 BALCONY 60 Sq. Ft.  
(N) UNIT 4 BALCONY 60 Sq. Ft.

PUBLICLY & ACCESSIBLE OPEN SPACE  
(N) OPEN SPACE: 272 Sq. Ft.

LOT COVERAGE  
(N) FOOT PRINT: 2,548 Sq. Ft.

FIRE PROTECTION  
FULLY FIRE SPRINKLERED  
PER L.A. CITY FIRE CODE

SCOPE OF WORK  
New 3-Story, 4-unit, Apartment Building,  
Each Unit above a 2-Car Garage



SITE PLAN  
1/8" = 1'-0"

E. OPEN SPACE\*

1. All Districts, Except MacLay District.

a. Residential Developments: Outdoor space shall be provided as follows:  
i. A minimum of one hundred fifty (150) square feet of usable publicly accessible open space. Open space provision shall not include required setback areas. Common open spaces for residential uses must be

constructed on-site. Publicly accessible open space may be constructed on- or off-site. (See the Design Guidelines for Site Improvements, Furnishings, Landscaping and Lighting for design of open space.)

ii. A minimum of sixty (60) square feet of private open space per residential unit. Patios, porches, balconies, terraces, and decks may be used to provide private space within multifamily structures, at a minimum dimension of six (6) feet in any one direction. Private areas should be adequately separated to ensure the privacy of the units.

b. For all developments with common open space or other common interest facilities, the developer shall record binding agreements ("CC&R's") addressing issues of common interest regarding use, access and maintenance of common open space, tree planter areas, planting strips, walkways and parking and/or vehicular use areas.

c. All open spaces shall be publicly accessible during daylight hours, and shall be designed to connect with public rights-of-way and adjacent public open spaces in the vicinity.

d. Residential Developments: see Subsection 4.5.5.1.a.

F. LANDSCAPING AND SCREENING

1. Landscaping in setback areas.

a. For all buildings, front setback areas within 12 feet of face of curb shall be landscaped to match adjacent sidewalk.

b. For buildings with ground floor residential uses, setback areas 12 feet or more from the face of curb shall be landscaped with shrubs, ground cover, and trees, over at least 50% of the front setback area, exclusive of driveways.

2. Parking lot landscaping. Minimum five (5) feet wide planting area must be established at the perimeter of parking lots and driveways within the required setback area. Where parking lots are sited adjacent to or backing onto residential buildings, the parking lot should also be screened with an attractive screen fence or low wall, and planted with ground cover and trees adjacent to the screening fence or wall at a maximum spacing of twenty (20) feet on center.

3. Utilities and service screening. Utility, trash, recycling, food waste and service equipment, including satellite receiving

dishes, must be located away from streets and enclosed or screened by landscaping, fencing or other architectural means. Trash facilities and recycling containers must always be located within structural enclosures.

4. Rooftop Equipment screening. Rooftop equipment must be screened from view and architecturally integrated into the building design.

G. LIGHTING

1. Exterior area lighting. All exterior area lighting shall be provided by full cut-off fixtures (where no light is emitted above the horizontal plane) with the light source fully shielded or recessed to preclude light trespass or pollution onto adjacent or abutting property or up into the night sky.

2. Lighting adjacent to residential uses. All exterior area lighting adjacent to residential uses shall be located and designed to prevent light spill into residential units.

3. Luminaires. Freestanding luminaires shall be mounted no higher than eighteen (18) feet, measured from the finished grade. Building-mounted luminaires shall be attached to walls or soffits (the undersides of ceilings or overhangs), and the top of the fixture shall not exceed the height of the parapet or roof, whichever is greater. (Please refer to the Design Guidelines for Site Improvements, Furnishings, Landscaping and Lighting for lighting design.)

4. Up-lighting. All decorative up-lighting, such as those illuminating building facades or landscaping, shall be operated on timers that turn off illumination after 12 midnight nightly.

FIGURE 4.2 - BUILDING HEIGHT (SEE TABLE 4.2, SECTION B)

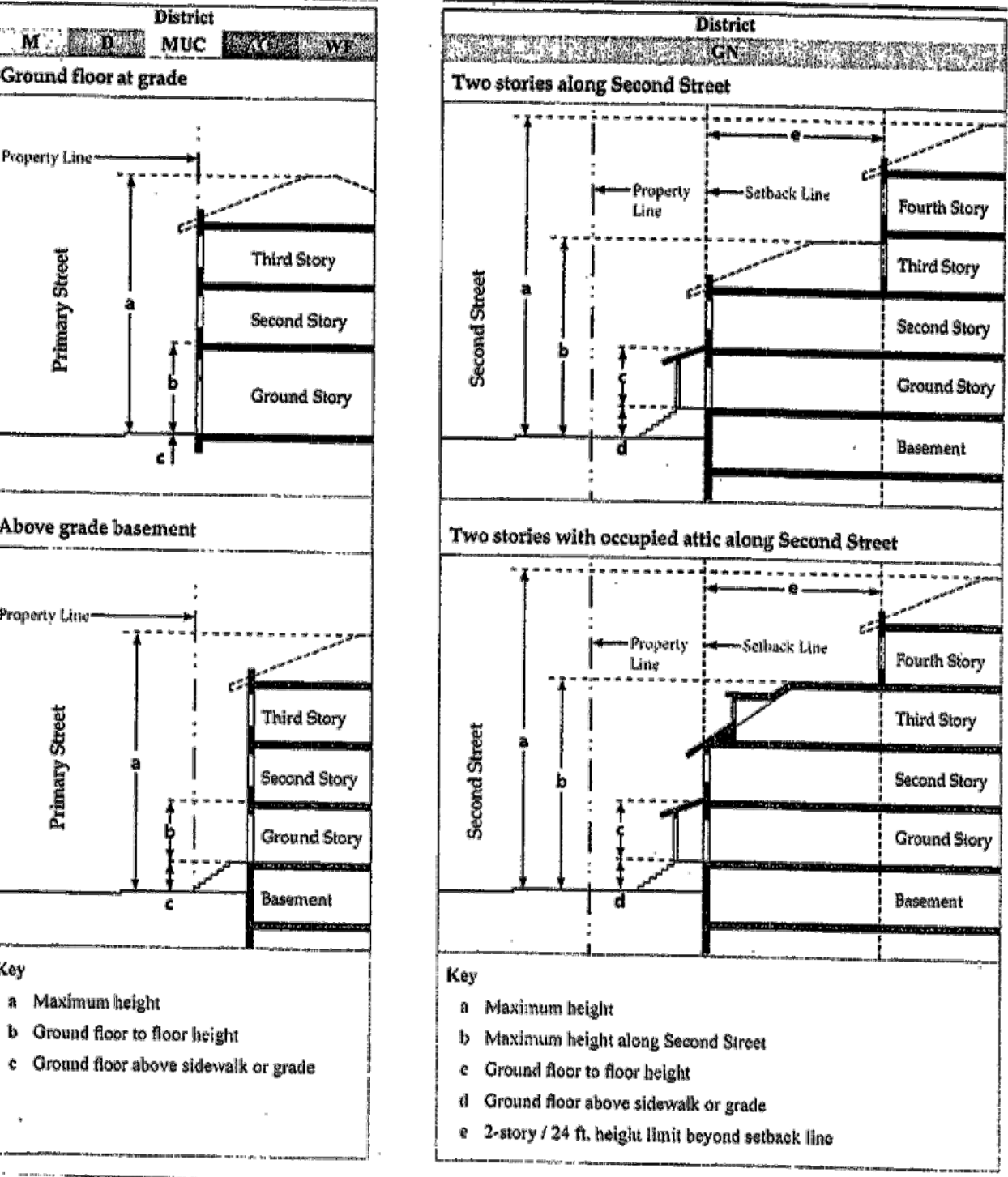


TABLE 4.2 - DEVELOPMENT STANDARDS

Standard	District				
	M	D	MUC	WF	CN
<b>A. Development Intensity</b>					
1. Floor Area Ratio (FAR) (1)					
a. Non-residential	1.0	3.0	2.0	3.0	2.0
b. Residential Mixed-use	1.5(2)	3.5(3)	2.5	-	2.0
2. Residential Density (dwelling units/acre)					
a. Minimum	12	24(3)	24	-	-
b. Maximum	37	50(3)	37	-	43
<b>B. Height (see Figure 4.2)</b>					
1. Building height as measured from sidewalk or finished grade to top of flat roof, cornice, or eave line of a peaked roof.					
a. Primary Building					
i. Minimum (stories / ft.)	-	1 / 24	1 / 24	-	-
ii. Maximum (stories / ft.)	3 / 40	3 / 40	3 / 40	3 / 40	4 / 45
iii. Maximum within Downtown Residential Overlay (stories / ft.)	-	4 / 50	-	-	-
iv. Maximum height adjacent to B-1 Single Family Residential Zone within a distance of 15 ft. from the property line (ft.)	-	-	-	-	-
v. Maximum height along south side of Second Street between Hubbard Avenue and MacLay Avenue for a distance of 20 ft. behind the Second Street setback line (stories / ft.)	-	-	-	-	2 / 24(4)
vi. Maximum height along north side of Celis Street between Huntington Street and Kallister Street for a distance of 10 ft. behind the Celis Street setback line (stories / ft.)	-	-	2 / 24(4)	-	-
b. Accessory Building, including non-dwelling units, such as free-standing individual car garages, service structures and tool sheds (ft.)	12	-	12	-	12
2. Ground floor height as measured above grade at building setback line (max.)					
a. Residential	4 ft.	4 ft.	4 ft.	4 ft.	4 ft.
b. Non-residential	-	-	-	-	-
3. Ground story height as measured from floor to floor					
a. Residential (ft.)	-	-	-	-	-
b. Non-residential (ft.)	14 min.	18 min.	18 min.	14 min.	14 min.

NOTES  
(1) Floor Area Ratio (FAR) defined as the floor area of the building divided by the total project site area. FAR calculations do not include parking facilities.  
(2) Only within Neighborhood Services Overlay.  
(3) Only within Downtown Residential Overlay.  
(4) Attic spaces of new- and two-story buildings with pitched roofs may be occupied and day lit with clerestory windows.  
(5) New surface parking lots may not front onto MacLay Avenue or San Fernando Road.  
(6) Side Setbacks may be allowed to provide for driveways and pedestrian pathways, to a maximum of 12 ft.

Revisions	
1	
2	
3	
4	
5	



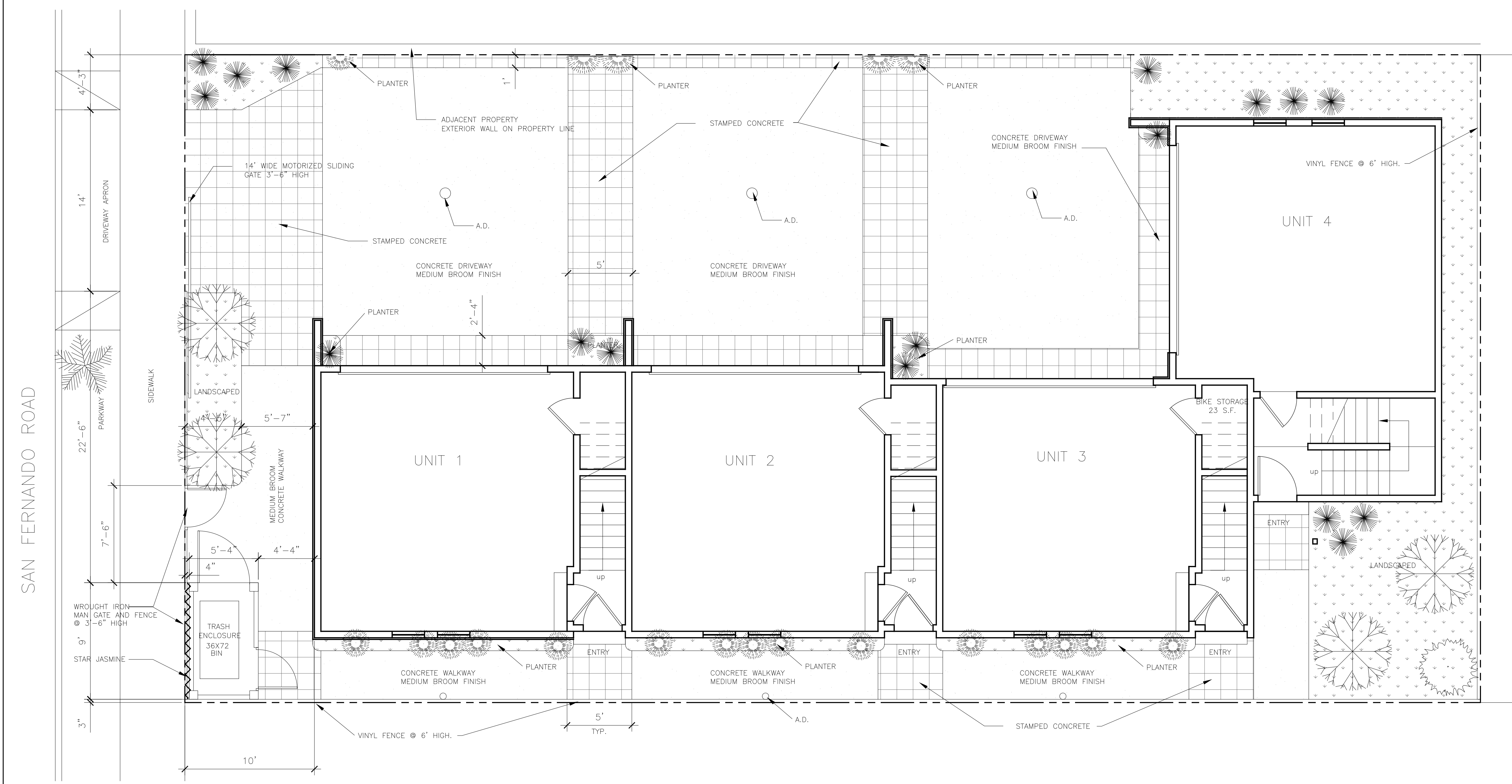
Karajack Strivings, Architect  
819 N. ONEONTA DRIVE  
LOS ANGELES, CALIFORNIA 90065  
Telephone 562 900 4476 E-mail: kstrivings@gmail.com

OWNER  
Midland Contractors  
P.O. Box 8312  
Van Nuys, CA 91409  
TEL 818 652 1276

SITE / GENERAL INFORMATION  
NEW 4 UNIT APARTMENT BUILDING  
AT  
1426 SAN FERNANDO ROAD  
SAN FERNANDO, CA 91340

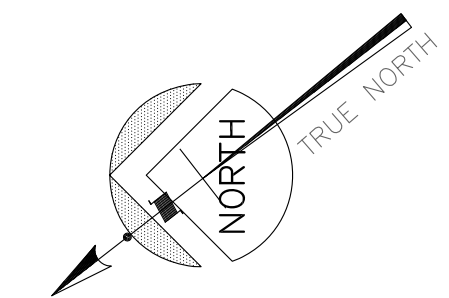
date JAN.5 2019  
drawn KS  
check k.s.  
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sheet

A-1.1  
of 1 sheets



PLANT LEGEND

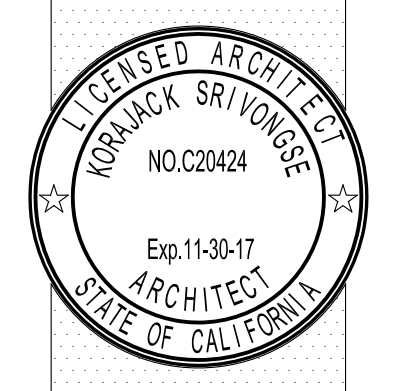
	FOX TAIL PALM (WODYETIA BIFURCATA) GAL. EXISTING ON SIDEWALK	15		NEW ZEALAND FLAX (MAORI QUEEN FLAX)	5 GAL.		STAR JASMINE ON GREEN SCREEN ON WALL
	CRAPE MYRTLE (LAGERSTROEMIA red)	15 GAL.		BIRD OF PARADISE (PRADISAEIDAE)	5 GAL.		
	JACARANDA MINOSIFORIA	15 GAL.		BOUGAINVILLEA, SANTIAGO RED ON GREEN SCREEN	5 GAL.		
				STONE CROP GROUND COVERING	FLAT		



ENLARGED SITE PLAN / LANDSCAPE PLAN

SCALE: 1/8"=1'-0"

Revisions	



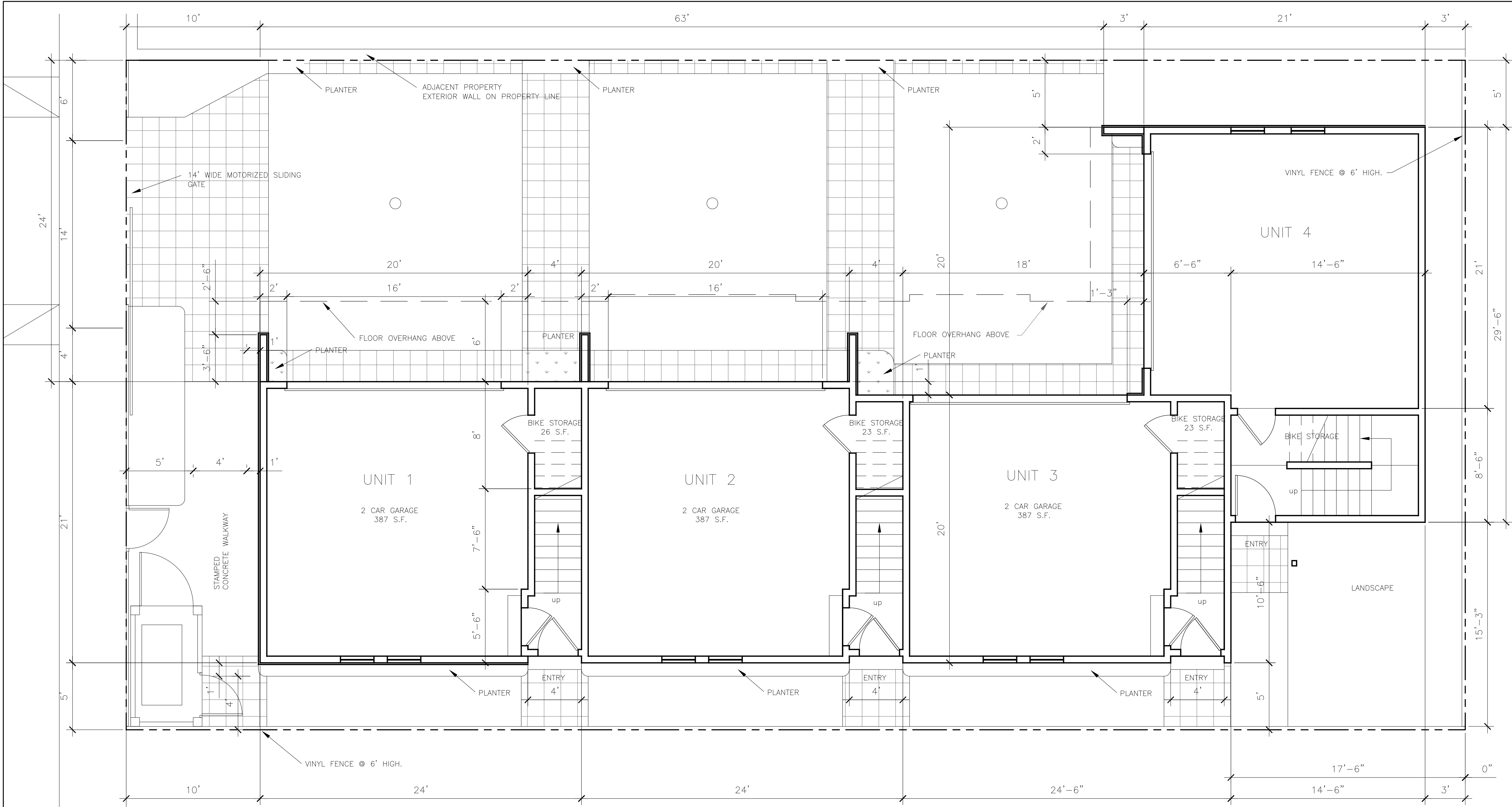
Karajack Srivongse, Architect  
819 N. ONEONTA DRIVE  
LOS ANGELES, CALIFORNIA 90065  
Telephone 562 900 4476 E mail : ksrivongse@gmail.com

OWNER  
Midland Contractors  
P.O. Box 8312  
Van Nuys, CA 91409  
TEL 818 652 1276

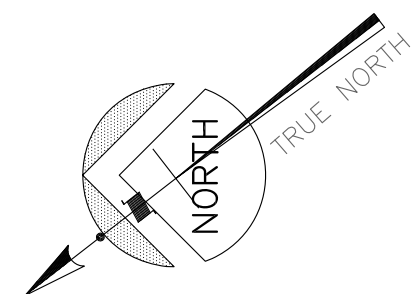
PLANTING PLAN  
NEW 4 UNIT APARTMENT BUILDING  
AT  
1426 SAN FERNANDO ROAD  
SAN FERNANDO, CA 91340

date	JAN.5 2019
drawn	KS
check	k.s.
scale	1/4"=1'-0"
sheet	

**A-1.2**  
of ± sheets



SEE SHEET A-1.2 FOR SITE WORK  
AND LANDSCAPE PLAN



GARAGE PLAN

SCALE: 1/8"=1'-0"

Revisions	



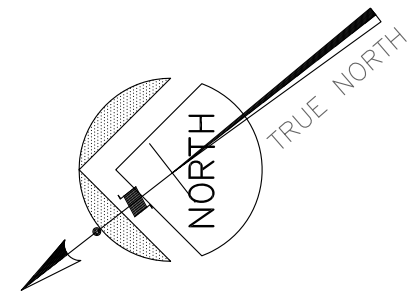
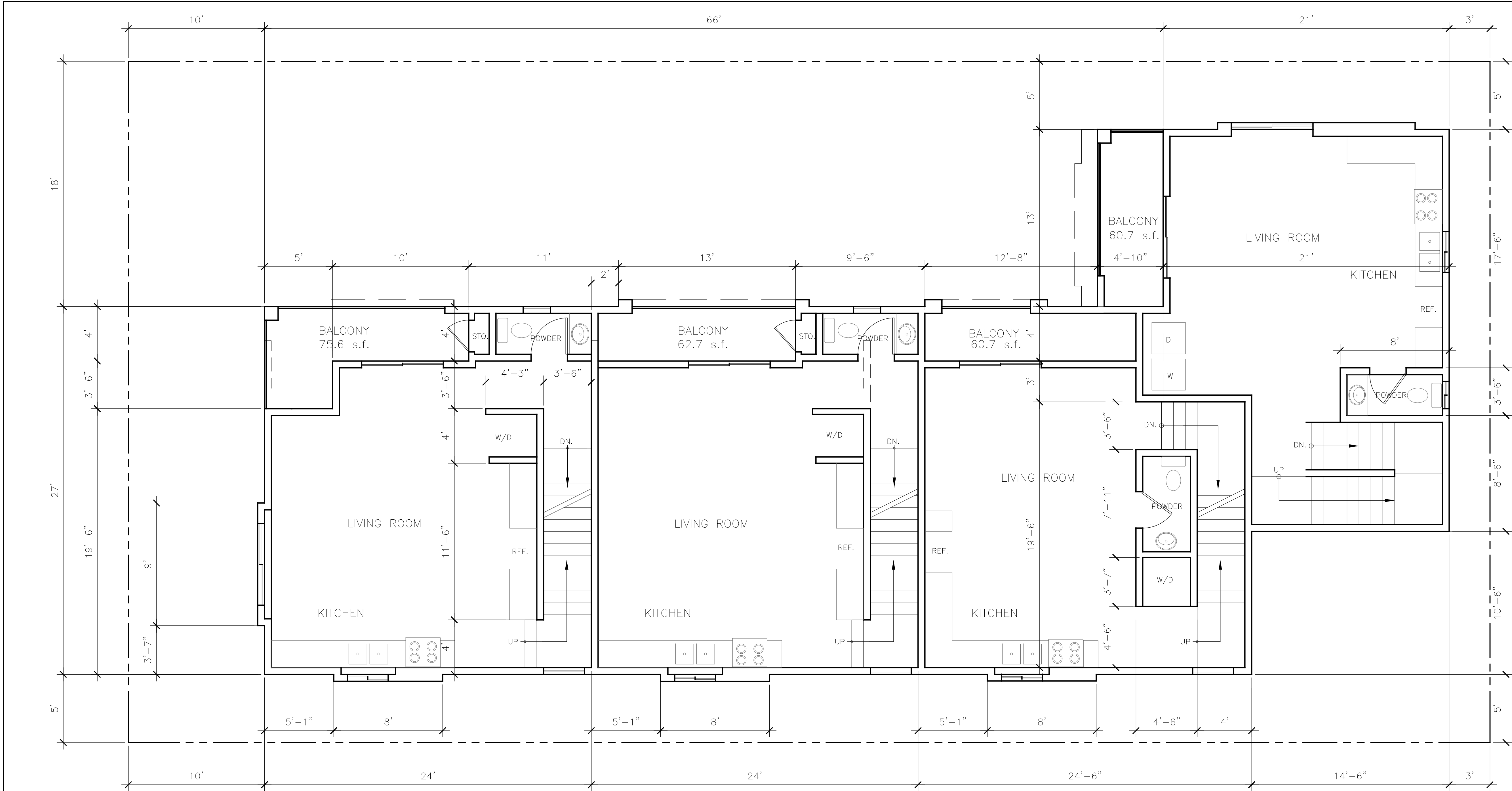
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GROUND FLOOR GARAGE  
**NEW 4 UNIT APARTMENT BUILDING**  
AT  
1426 SAN FERNANDO ROAD  
SAN FERNANDO, CA 91340

date	JAN.5 2019
drawn	KS
check	k.s.
scale	1/4"=1'-0"
sheet	

**A-2.1**  
of ± sheets



Revisions	
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▲	
▲	
▲	



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SECOND FLOOR LIVING ROOM  
NEW 4 UNIT APARTMENT BUILDING  
AT  
1426 SAN FERNANDO ROAD  
SAN FERNANDO, CA 91340

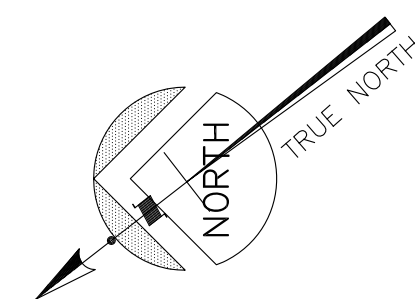
date	JAN.5 2019
drawn	KS
check	k.s.
scale	1/4"=1'-0"
sheet	

**A-2.2**  
of ± sheets

SECOND FLOOR LIVING ROOM

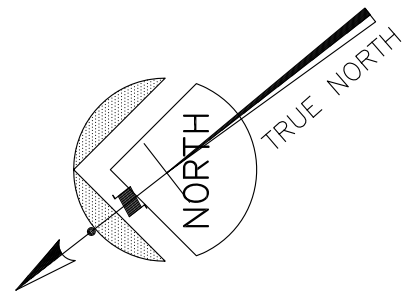
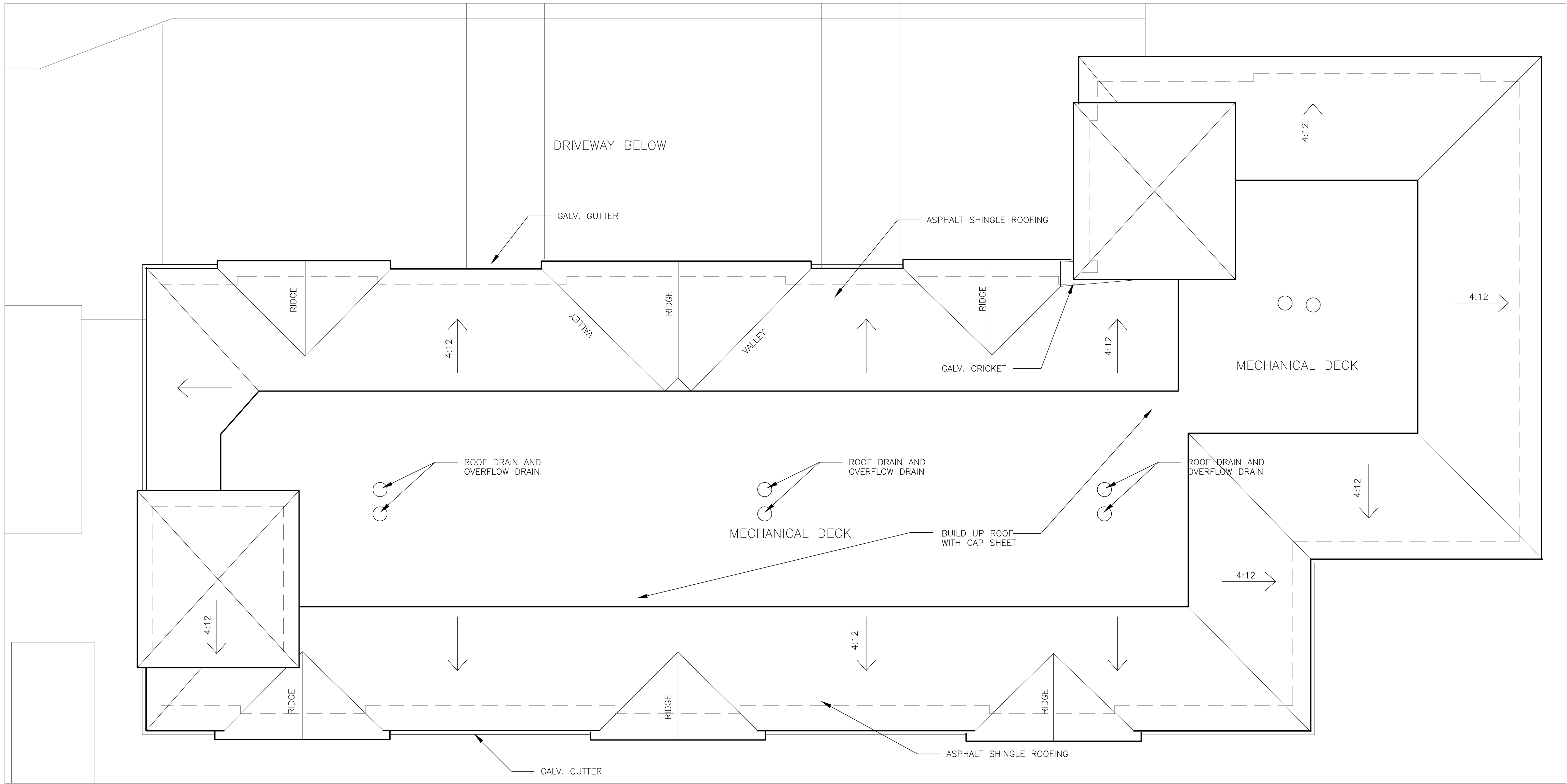
SCALE: 1/4"=1'-0"





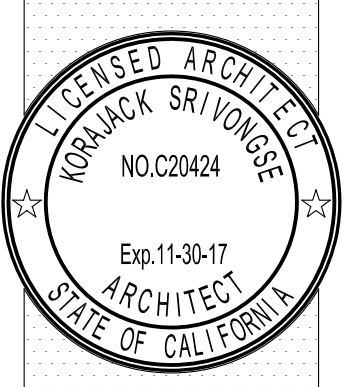
SCALE:  $1/4" = 1' - 0'$

**A-2.3**  
of ± sheets



ROOF PLAN  
SCALE: 1/4"=1'-0"

Revisions	



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ROOF PLAN

NEW 4 UNIT APARTMENT BUILDING  
AT  
1426 SAN FERNANDO ROAD  
SAN FERNANDO, CA 91340

date	JAN.5 2019
drawn	KS
check	k.s.
scale	1/4"=1'-0"
sheet	

A-2.4

of ± sheets



- 1A

EXTERIOR CEMENT PLASTER, MEDIUM DASH.
- 1B

EXTERIOR CEMENT PLASTER, SMOOTH FINISH.
- 2A

VINYL GLASS WINDOW FLUSH MOUNTED.
- 2B

VINYL GLASS WINDOW RECESS MOUNTED.
3.

10X14 GALV. SHEET METAL VENT, PAINTED.
4.

MANSARD ROOF. MISSION CLAY TILE.
5.

2X WOOD EAVE AND GABLE, PAINTED.
6.

CULTURE STONE VENEER.
7.

WALL SCONCE.
8.

OVERHEAD GARAGE DOOR.
9.

WROUGHT IRON GUARDRAIL.
10.

WOOD TRIM AROUND WINDOW
11.

4X6 WOOD TRELLIS
12.

TRASH ENCLOSURE
13.

ARCH GLASS WINDOWS AT TOWER.
14.

4X CORBELS.
15.

W.I. EXTERIOR PLANT SHELF.
- 16

ENTRY DOOR



NORTH ELEVATION  
SCALE: 3/16"=1'-0"



WEST ELEVATION  
SCALE: 3/16"=1'-0"

Revisions	
△	
△	
△	
△	
△	



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BUILDING ELEVATIONS  
NEW 4 UNIT APARTMENT BUILDING  
AT  
1426 SAN FERNANDO ROAD  
SAN FERNANDO, CA 91340

date	JAN.5 2019
drawn	KS
check	k.s.
scale	3/16"=1'-0"
sheet	

**A-3.1**  
of ± sheets



- 1A

EXTERIOR CEMENT PLASTER, MEDIUM DASH.
- 1B

EXTERIOR CEMENT PLASTER, SMOOTH FINISH.
- 2A

VINYL GLASS WINDOW FLUSH MOUNTED.
- 2B

VINYL GLASS WINDOW RECESS MOUNTED.
3.

10X14 GALV. SHEET METAL VENT, PAINTED.
4.

MANSARD ROOF. MISSION CLAY TILE.
5.

2X WOOD EAVE AND GABLE, PAINTED.
6.

CULTURE STONE VENEER.
7.

WALL SCONCE.
8.

OVERHEAD GARAGE DOOR.
9.

WROUGHT IRON GUARDRAIL.
10.

WOOD TRIM AROUND WINDOW
11.

4X6 WOOD TRELLIS
12.

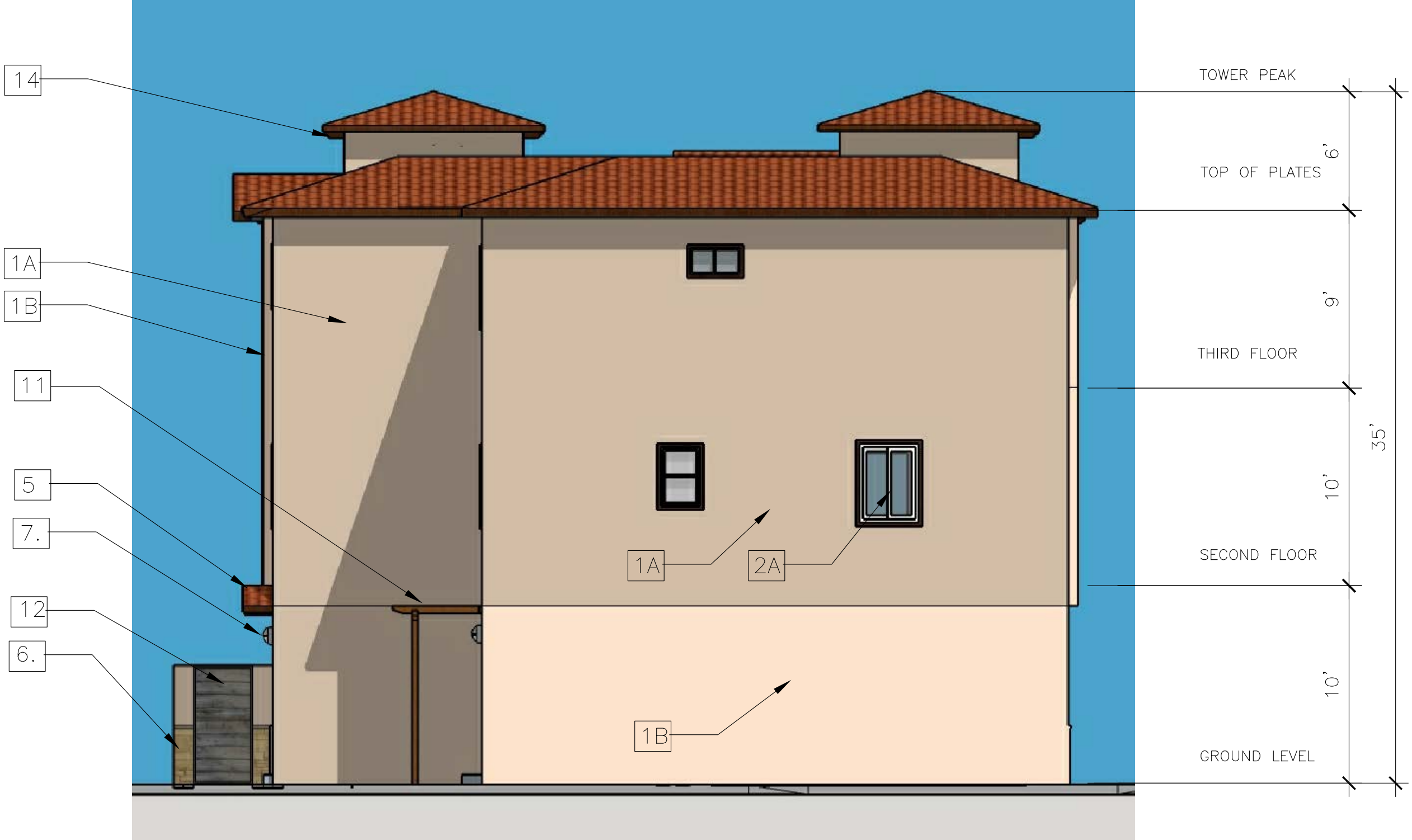
TRASH ENCLOSURE
13.

ARCH GLASS WINDOWS AT TOWER.
14.

4X CORBELS.
15.

W.I. EXTERIOR PLANT SHELF.
- 16

ENTRY DOOR

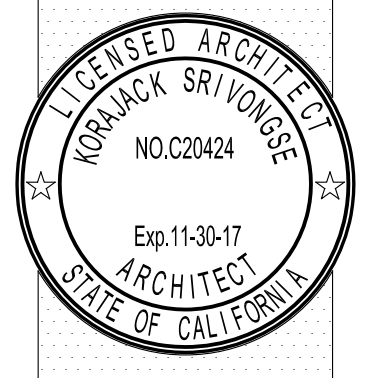


SOUTH ELEVATION  
SCALE: 3/16"=1'-0"



EAST ELEVATION  
SCALE: 3/16"=1'-0"

Revisions	
△	
△	
△	
△	
△	



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BUILDING ELEVATIONS  
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SAN FERNANDO, CA 91340

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drawn	KS
check	k.s.
scale	3/16"=1'-0"
sheet	

**A-3.2**  
of ± sheets





FRONT AT GARAGE SIDE



FRONT AT ENTRY SIDE

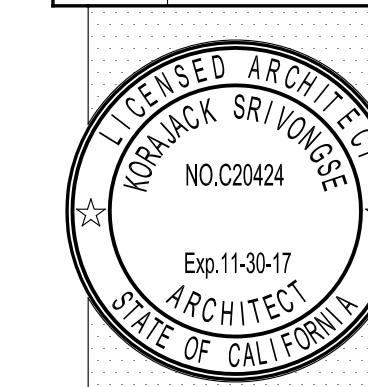


BIRD EYE FROM FRONT



BIRD EYE FROM REAR

Revisions	
△	
△	
△	
△	
△	



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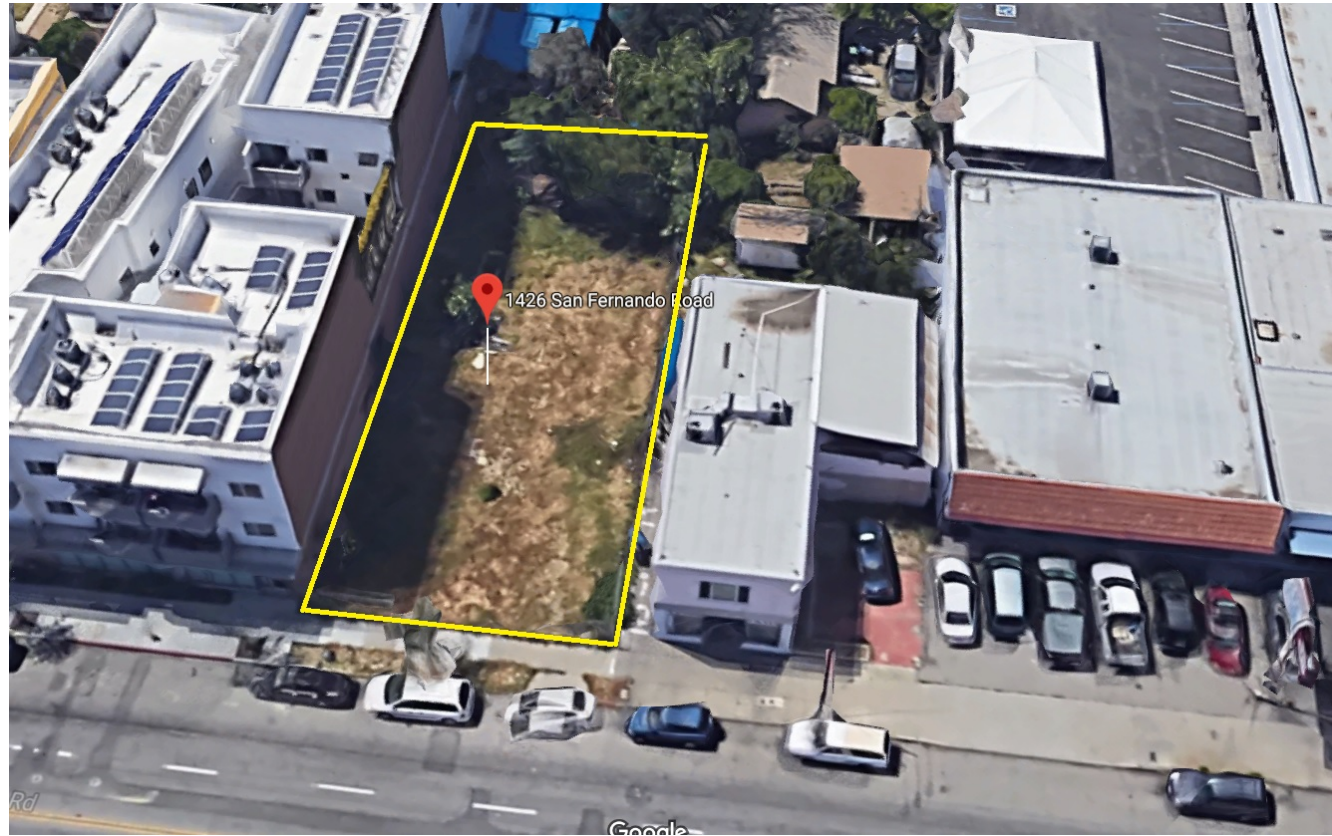
OWNER  
Midland Contractors  
P.O. Box 8312  
Van Nuys, CA 91409  
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PERSPECTIVE VIEW  
NEW 4 UNIT APARTMENT BUILDING  
AT  
1426 SAN FERNANDO ROAD  
SAN FERNANDO, CA 91340

date	JAN.5 2019
drawn	KS
check	k.s.
scale	NTS
sheet	

**A-5.1**  
of ± sheets





AERIAL VIEW OF SITE



PROPOSED AERIAL VIEW

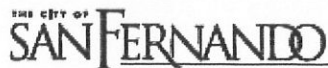


CURRENT FRONT VIEW



PROPOSED FRONT VIEW





**NOTICE OF A  
PUBLIC HEARING**

**THE CITY OF SAN FERNANDO PLANNING AND PRESERVATION COMMISSION**

A public hearing on this matter and associated potential environmental impacts, if any, will be conducted by the City of San Fernando Planning and Preservation Commission on:

**DATE:** August 20, 2019

**TIME:** 6:30 p.m.

**HEARING LOCATION:** City Hall Council Chambers, 117 Macneil Street, San Fernando, CA 91340

**PROJECT LOCATION:** 1426 San Fernando Road, San Fernando, CA  
(Los Angeles County Assessor's Parcel No: 2521-003-006)

**APPLICATION:** Conditional Use Permit 2018-003 and SPR 2018-025


**PROJECT DESCRIPTION:**

The project consists of a request for the approval of a Conditional Use Permit and Site Plan Review for the development of a new four (4) unit apartment complex within a 5,000 square foot lot in the Mixed-Use Corridor District of the San Fernando Corridors Specific Plan (SP-5) Zone. The project site is located on the southern side of San Fernando Road between Workman Street and Huntington Street.

This project has been reviewed for compliance with the California Environmental Quality Act (CEQA) of 1970. Based on that assessment, the project has been determined to be Categorical Exempt under Class 32 (In-fill Development Projects) of the City's adopted local CEQA Guidelines. Members of the public are invited to submit written comments regarding said project by or before the close of the public hearing. Written responses received by noon, August 15, 2019 will be included with the staff report for review by City Council.

**Interested members of the public may also provide verbal comments or written comments regarding any aspect of the proposed project (including the environmental documents referenced above) during the public comment portion of the public hearing on this matter. Please note that interested parties who may later wish to appeal or otherwise challenge any findings made or action taken by the Planning and Preservation Commission may be limited to appealing or challenging only those issues or concerns that were raised orally or in writing by or before the close of the public hearing conducted by the Planning and Preservation Commission.**

For further information regarding this proposal, please contact Gerardo Marquez, Associate Planner at (818) 837-1540 or [gmarquez@sfcity.org](mailto:gmarquez@sfcity.org) or by written correspondence to: City of San Fernando, Community Development Department, 117 Macneil Street, San Fernando, CA 91340-2993.

  
 Timothy T. Hou AICP  
 Director of Community Development



**CITY OF SAN FERNANDO PUBLIC WORKS DEPARTMENT**  
**DEVELOPMENT / IMPROVEMENT REVIEW CHECK LIST**

ATTACHMENT "E"

PROJECT: SPR 2018- 025

Apartment – 4 Units

DATE: 6/10/19

PROJECT ADDRESS: 1426 San Fernando Rd

ITEM	REQUIRED?		COMPLIED?	COMMENTS
	YES	NO		
1. Site plan must show:				
a. Existing building or structure	✓			
b. Existing public improvements (concrete sidewalk driveways, curbs and gutters, parkway trees, street lights, hydrants, etc.) including existing and proposed dimensions, square footage, etc.	✓			
c. Existing utilities (gas, sewer, water, storm drains, catch basins, power poles).	✓			
2. Submit offsite improvement plan.	✓			
3. Prior to issuance of building permit:				
a. Pay sewer capital facility charge.	✓			Based on four 2 bedroom apt: 4 x \$1,251* = <b>\$5,004*</b>
b. Pay water capital facility charge.	✓			Based on developer's engineer's calculations
c. Pay water service installation charge.	✓			Based on developer's engineer's calculations
d. Pay fire service installation deposit.		✓		Unless a fire service is required. See attached fee schedule.
e. Pay fire hydrant installation deposit.		✓		Unless City of Los Angeles Fire Department requires one for proposed development.
f. Pay plan check fee (Offsite).	✓			
g. Pay inspection fee (Offsite).	✓			
h. Provide labor and material bond.		✓		
i. Provide performance bond.		✓		
4. Is there existing sewer house connection to property?		✓		
5. Is there existing water service to the property?	✓			Yes, property has an existing 3/4" water meter.
6. Provide separate water service for each building or separate ownership.		✓		
7. Provide separate sewer connection for each building.		✓		
8. Underground <u>all utilities</u> to each unit/building.	✓			Underground all lighting and utilities.
9. Cap off existing sewer connection that will no longer be used.		✓		
10. Replace existing old and substandard water service.		✓		
11. Upgrade existing substandard hydrant to 6-inch wet barrel hydrant (4"X 2.5" outlet).		✓		
12. Install new hydrant per City standard.		✓		Unless City of Los Angeles Fire Department requires one for proposed development.
13. Satisfy City of Los Angeles Fire Dept. fire flow requirements.	✓			Obtain clearance from City of Los Angeles Fire Department.

ADDRESS:

1426 San Fernando Rd

ITEM		REQUIRED?		COMPLIED?	COMMENTS
		YES	NO		
14.	Provide City approved backflow device for the domestic water service and/or landscape irrigation, and provide proof that said equipment has been tested by a certified tester.		✓		Provide <u>one</u> backflow device for every water service. Provide <u>additional</u> backflow device for irrigation/landscaping.
15.	Remove existing driveway approach that will no longer be used. Replace depressed curb.	✓			Remove driveway that will no longer be used and construct new sidewalk/parkway.
16.	Construct PCC driveway approach 6-inch thick per City Standard.	✓			Construct new driveway per City Standards.
17.	Construct wheel chair ramp per City Standard.		✓		
18.	Remove and replace broken/damaged concrete sidewalk adjacent to property.	✓			Remove parkway and construct sidewalk.
19.	Remove and replace broken curb/gutter adjacent to property.	✓			
20.	Plant parkway trees per City Standard and City Master Tree Plan.	✓			Plant <u>2</u> Pink Trumpet ( <i>Tabebuia avellanedae</i> ) trees in parkway. Species of tree shall be determined by Public Works department and planted per City Standards.
21.	Construct tree wells per City Standard with <u>tree</u> <u>grates</u> .	✓			Please see attached City Tree Planting Standard.
22.	A permit from the Public Works Dept. (Engineering Division) is required for all offsite improvements.	✓			
23.	All on-site pavement shall be minimum of 3-inch AC on 4 inch CAB or 6-inch PCC pavement without soil recommendation.	✓			
24.	Construct trash enclosure, nominal size 5 feet X 9 feet with PCC slab and 6-inch PCC curb with 6-inch PCC apron.	✓			Proposed trash enclosure is not accessible to refuse hauler. Please relocate trash enclosure to provide refuse hauler accessibility to it.
25.	Verify that clarifier/grease trap intercepts effluent before entry into the sewer lateral.		✓f		
26.	Federal NPDES Requirements				
	a. Submit SWPPP Owners's Certification (form OC1 attached) that incorporates construction BMP's in compliance with Federal NPDES.	✓			See attached BMP's suggested for use during construction.
	b. Provide a SUSMP that incorporates design elements and facility BMP's in compliance with Federal NPDES.		✓		
27.	Comply with all applicable existing conditions of approval for the proposed development.	✓			
28.	Additional requirements: <i>*Sewer and Water Capital and Installation fees are subject to change. The latest fee will be assessed prior to sign off for building permit.</i> <ul style="list-style-type: none"> <li>PLEASE BE ADVISED, SAN FERNANDO ROAD WAS RECENTLY PAVED AND HAS A 5 YEAR EXCAVATION MORATORIUM. IF ANY UTILITY CONNECTIONS FOR THIS DEVELOPMENT REQUIRE THE NEWLY PAVED STREET TO BE EXCAVATED WITHIN THE EXCAVATION MORATORIUM, THE DEVELOPER WILL BE RESPONSIBLE FOR PAVING THE STREET A MINIMUM 50 FOOT WIDE FROM THE EDGE OF GUTTER TO OTHER END EDGE OF GUTTER ACROSS THE STREET. THIS WORK MAY ALSO REQUIRE THE RESTRIPIING OF ANY MARKINGS AND REPLACEMENT OF MARKERS THAT WERE AFFECTED AS A RESULT OF THIS WORK. The other option would be for the developer to wait for the expiration of the excavation moratorium (2024) to do the work in which time the developer will only be required to pave the utility trench.</li> <li>Submit utility plan showing all existing utilities and any proposed relocations/realignments. Also show any proposed relocation of water service, water meter, and fire hydrant.</li> <li>The developer is responsible for protecting in place all existing street trees. All street tree removal, pruning and trimming is not allowed without the consent of the Public Work Director or his representative. All tree replacements shall be at the discretion of the Public Work Director or his representative per the current City replacement policy.</li> <li>Satisfy NPDES.</li> </ul>				

PUBLIC WORKS DEPARTMENT

DATE