

CHAIR DAVID BERNAL
VICE CHAIR FRANCISCO SOLORIO
COMMISSIONER SYLVIA BALLIN
COMMISSIONER CECILIA MARTINEZ
COMMISSIONER SEAN M. RIVAS

CITY OF SAN FERNANDO

Planning & Preservation Commission Regular Meeting Agenda Summary Monday, February 12, 2024 – 6:30 PM

CITY HALL COUNCIL CHAMBERS
117 MACNEIL STREET
SAN FERNANDO, CALIFORNIA 91340

PUBLIC PARTICIPATION OPTIONS

Please visit the City's YouTube channel to live stream and watch previously recorded Planning and Preservation Commission meetings, which is also available with Spanish subtitles at: https://www.youtube.com/c/CityOfSanFernando

In accordance with the Americans with Disabilities Act of 1990, if you require a disability-related modification/accommodation to attend or participate in this meeting, including in-person translation services, or other services please call the Community Development Department at (818) 898-1227 or email at YBecerra@sfcity.org at least 2 business days prior to the meeting.

SUBMIT PUBLIC COMMENT IN PERSON:

Members of the public may provide comments in person in the City Council Chambers during the Public Comments section of the Agenda by submitting a comment card to the Board Secretary.

SUBMIT PUBLIC COMMENT VIA EMAIL:

Members of the public may submit comments by email to YBecerra@sfcity.org no later than 12:00 p.m. the day of the meeting, to ensure distribution to the Planning and Preservation Commission prior to consideration of the agenda. Comments received via email will be distributed to the Planning and Preservation Commission and made part of the official public record of the meeting.

CALL-IN TO PROVIDE PUBLIC COMMENT LIVE AT THE MEETING:

Members of the Public may call-in between 6:30 p.m. and 6:45 p.m. Comments will be heard in the order received, and limited to three minutes. If necessary, the call-in period may be extended by the Chair. Note: This is audio only and no video.

Call-in Telephone Number: (669) 900-6833 Meeting ID: 896 2370 9376

Passcode: 194996

When connecting to the Zoom meeting to speak, you will be placed in a virtual "waiting area," with your audio disabled, until it is your turn to speak and limited to three minutes.

PLANNING AND PRESERVATION COMMISSION

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CALL TO ORDER/ROLL CALL

TELECONFERENCE REQUESTS/DISCLOSURE

Recommend consideration of requests received for remote teleconference meeting participation made by members of the City's legislative bodies, as permitted under the provisions of Assembly Bill (AB) 2449, Government Code Section 54953, and the City of San Fernando adopted Resolution No. 8215, effective March 1, 2023.

PLEDGE OF ALLEGIANCE

Led by Commissioner Rivas

APPROVAL OF AGENDA

Recommend that the Planning and Preservation Commission approve the agenda as presented.

DECORUM AND ORDER

City Commissioners are appointed by City Council and must be free to discuss issues confronting the city in an orderly environment. Member of the public attending City Commission meetings shall observe the same rules of order and decorum applicable to the City Council (SF Procedural Manual). Any person making impertinent derogatory or slanderous remarks or who becomes boisterous while addressing a City Commission or while attending a City Commission meeting, may be removed from the room if the Presiding Officer so directs the Sergeant-At-Arms and such person may be barred from further audience before the City Commission.

PUBLIC STATEMENTS

Members of the public may **provide comments in person in the City Council Chambers** during the Public Comments section of the Agenda by submitting a comment card to the Board Secretary.

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Members of the public may provide a live public comment by calling in between 6:30 p.m. and 6:45 p.m. CALL- IN INFORMATION: Telephone Number: (669) 900-6833; Meeting ID: 896 2370 9376; Passcode: 194996



PLANNING AND PRESERVATION COMMISSION

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CONSENT CALENDAR

None

PUBLIC HEARING

1) SITE PLAN REVIEW (SPR2023-023) AND A CONDITIONAL USE PERMIT (CUP2023-003) TO ALLOW DEMOLITION OF AN EXISTING 853 SQ. FT. SINGLE-FAMILY RESIDENCE AND CONSTRUCT A NEW 4-UNIT RESIDENTIAL DEVELOPMENT AT 837 N MACLAY AVENUE WITHIN THE MACLAY DISTRICT OF THE SAN FERNANDO CORRIDORS SPECIFIC PLAN ZONE (SP-5)

Recommend that the Planning and Preservation Commission:

- a. Conduct a Public Hearing;
- b. Pending public testimony, adopt Planning and Preservation Commission ("Commission") Resolution No. 2024-001 (Attachment A) approving Site Plan Review SPR2023-023 and Conditional Use Permit CUP2023-003 and the Conditions of Approval attached therein as Exhibit "A" allowing the construction of a 4-unit residential development at 837 N Maclay Avenue.

ADMINISTRATIVE REPORTS

2) DISCUSSION ON AMENDING THE SAN FERNANDO MUNICIPAL CODE TO ESTABLISH OPERATING STANDARDS FOR ESTABLISHMENTS THAT SERVE ALCOHOL FOR ON-SITE CONSUMPTION AND DEFINE LIVE ENTERTAINMENT, BREWERY/DISTILLERY, TAP ROOM, TASTING ROOM, AND WINE BAR

Recommend that the Planning and Preservation Commission:

- a. Discuss establishing operating standards for establishments that serve alcohol for on-site consumption; and
- b. Discuss adding a definition of live entertainment, brewery/distillery, tap room, tasting room, and win bar.

STAFF COMMUNICATION



PLANNING AND PRESERVATION COMMISSION

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COMMISSIONER UPDATES/REQUESTS TO AGENDIZE ITEM FOR DISCUSSION AT A FUTURE MEETING

Commissioner(s) may request to agendize an item for discussion at a future meeting, subject to approval by the Commission. Requests should align with the commission's scope of responsibility, adhere to City Council policies, and consider the availability of staff resources and budget constraints.

ADJOURNMENT The meeting will adjourn to its next regular meeting.

I hereby certify under pena agenda was posted on the		aws of the State of Cal	
Dated:	_ at:		
Signed By:			

Agendas and complete Agenda Packets (including staff reports and exhibits related to each item) are posted on the City's Internet Web site (www.sfcity.org). These are also available for public reviewing prior to a meeting at the Community Development Department Public Counter. Any public writings distributed by the Planning and Preservation Commission to at least a majority of the Commissioners regarding any item on this regular meeting agenda will also be made available at the Community Development Department Public Counter located at 117 Macneil Street, San Fernando, CA, 91340 during normal business hours. In addition, the City may also post such documents on the City's Web Site at www.sfcity.org. In accordance with the Americans with Disabilities Act of 1990, if you require a disability-related modification/ accommodation to attend or participate in this meeting, including auxiliary aids or services please call the Community Development Department Office at (818) 898-1227 or WBecerra@sfcity.org at least 48 hours prior to the meeting.



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AGENDA REPORT

To: Planning Preservation Chair Bernal and Commissioners

From: Erika Ramirez, Director of Community Development

By: Marina Khrustaleva, Associate Planner

Date: February 12, 2024

Subject: Site Plan Review 2023-023

Conditional Use Permit 2023-003

837 N Maclay Ave, San Fernando, CA 91340 (Assessor's Parcel Number 2516-033-008)

Proposal: A request for the approval of a Site Plan Review and a Conditional Use Permit to

allow demolish of a 853 sq. ft. single family residence and construction of a 4-unit residential development with attached garages and associated site improvements at 837 N. Maclay Avenue within the Maclay District of the San Fernando Corridors

Specific Plan Zone (SP-5) and a Class 3 CEQA Exemption.

Applicant: Josefina Campos

26073 O'Hara Ln, Stevenson Ranch, CA 91381

RECOMMENDATION:

a. Conduct a Public Hearing;

b. Pending public testimony, adopt Planning and Preservation Commission ("Commission") Resolution No. 2024-001 (Attachment A) approving Site Plan Review SPR2023-023 and Conditional Use Permit CUP2023-003 and the Conditions of Approval attached therein as Exhibit "A" allowing the construction of a 4-unit residential development at 837 N Maclay Avenue.

BACKGROUND:

- 1. On April 12, 2023 Application Received.
- 2. On January 31, 2024 Application deemed Complete.
- On Feburary 1, 2024 Notice of Public Hearing Published in the San Fernando Valley Sun newspaper and mailed to property owners of record within a 500-foot radius of the Project Site.

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PROJECT OVERVIEW:

On April 12, 2023, Josefina Campos (the "Applicant"), submitted an entitlement request to allow demolition of an existing 853 sq. ft. single family residence and construct two detached 2- unit apartments buildings, each above a ground level parking garage (the "Project") at 837 N Maclay Avenue (the "Project Site"), within the Maclay District of the San Fernando Corridors Specific Plan Zone (SP-5). The combined total proposed floor area of the two buildings is 3,604 square feet. The request is permitted with:

Site Plan Review (SPR) – to conduct acitivity that requires issuance of a building permit.

Conditional Use Permit (CUP) - to construct an apartment development in the Maclay District of SP-5.

The Project Site is a 7,250 sq. ft. or 0.17 acre lot (Los Angeles County Assessor Identification No: 2518-033-008) and is located on the western side of North Maclay Avenue, south of Lucas Street and north of Glenoaks Boulevard. Per Table 4.1 of SP-5. The Project Site is currently improved with a 853 sq. ft. two-bedroom, one bathroom single family house with a detached garage, constructed in approximately 1937. The site is bounded by a permiter fence and contains limited landscaping, including a mature Camphor Tree in the front yard.

The Project Site abuts similarly zoned properties within the Maclay District of SP-5 to the north, south, and east. The neighboring properties to the west are zoned R-1 Single Family Residential.

The Project will provide two rental units in each of the two duplex buildings on the lot, for a total of four units. The front building, closest to Maclay is the smaller of the two building and identified on the attached plans as "Duplex A". On the ground floor there is a 585 square foot three 3-car garage that is organized into a 2-car garage and a 1-car garage. The second floor is a 778 square foot 2-bedroom, 1-bath unit with a balcony. The third floor is a 765 square foot 1-bedroom, 1-bath unit, also with a balcony.

Duplex B is a slightly larger building and set behind Duplex A. The ground level consists of two 2-car garages that are each approximately 391 square feet. The second floor and third floor each consist of a 1,026 square foot 3-bedroom, 2-bathroom unit with a balcony. A common landscaped area lies between the duplex buildings. The project will provide a paved driveway and increased landscaping. The detailed plans are provided as Attachment C.

ANALYSIS:

Architectual Design and Building Sustainabilty

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The proposed 3-story duplexes buildings blend modern elements with traditional English cottage design, showcasing a combination of brick veneer, white siding, smooth stucco, and decorative elements such as trim and molding. The facade is intentionally designed to highlight the building's character, incorporating material changes, enlarged windows, and series of gable roofs that complement the surrounding landscaping to enhance street appeal along Maclay.

Sustainability is promoted through various key elements, such as energy-efficient windows to maximize natural light and reduce energy consumption, as well as the integration of green spaces and permeable surfaces to manage stormwater runoff. Additionally, passive energy principles are integrated into the design to optimize thermal comfort and minimize reliance on artificial heating and cooling systems. These sustainable features not only improve the building's environmental performance but also foster a healthier and more resilient living environment for its occupants.

Landscaping

The property features landscaping that prioritizes both aesthetic appeal and sustainability. Maintaining the charm and character of the property by preserving the large mature tree and using it as a foundation for the landscape design. Along the frontage, drought-tolerant native plants are carefully selected to ensure year-round ornamental beauty without excessive water consumption, contributing to a thriving and inviting street view. The landscape design fosters a sense of connection between the property and the surrounding community by creating open spaces that seamlessly integrate with the public right of way. Despite this integration, the design also carves out private landscaped areas for the residents. Overall, the design seeks to strike a balance between public accessibility and private spaces, enhancing the quality of life for both residents and passersby while promoting sustainability.

Neighborhood Compatibilty

The proposed residential development is located along a portion of Maclay Avenue that includes a variety of residential, commercial and auto repair uses. The Project is consistent with San Fernando Zoning Code development standards including setbacks, height, landscaping, open space, parking, and trash enclosure requirements. The development is pedestrian friendly and complement the adjacent commercial and residential neighborhood. The proposed modern English cottage design includes materials and colors that are compatible with and compliment the surrounding area.

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SB 8/SB 330

In 2021, SB 330 and SB 8 were signed into California law, which establish standards relating to the replacement of residential units that will be demolished for a housing development project. This requires the City to determine the level of affordability the housing unit that is to be demolished and to determine if it may be required to be replaced at the determined level of affordability. The City will work with the landlord prior to the issue of a demolition permit to ensure the proper process and documentation is received to comply with State law. This has been added as a condition of approval (condition # 17).

General Plan Compliance

The Project Site at 837 North Maclay Avenue is located within the Maclay District of SP-5 and maintains a Multi-Use land use designation in the General Plan Land Use Element.

The requested SPR and CUP to entitle a a new 4-unit residential development is consistent with the following goals and objectives of the San Fernando General Plan Land Use Element:

- To retain the small town character of San Fernando.
- To maintain an identity that is distinct from surrounding communities.

Additionally, the proposal is consistent with multiple policies of Housing Element:

- Goal 1.0, Policy 1.2: Preserve the character, scale, and quality of established residential neighborhoods.
- Goal 2.0, Policy 2.1: Provide adequate housing sites to facilitate the development of a range of residential housing types in San Fernando that fulfill regional housing needs.

Zoning Code Compliance

Pursuant to Table 4.1 of SP-5, the Maclay District allows for apartment developments as a conditionally permitted use. The Maclay District promotes the creation of new housing opportunities, while, at the same time, maintaining the integrity of the existing, adjacent residential neighborhoods. Permitted uses include residential and commercial uses that are compatible with residential development. The Project Site is surrounded by a mixture of residential, commercial, and service uses.

The chart below demonstrates that the proposed development complies with all development standards.

Development Standard	Required	Standard Satisfied	Comment
Density	37 du/acre	Yes.	4 units
	0.17 x 37 = 6.29 units		
Maximum Height	3 stories / 40 ft	Yes.	3 stories / 34 ft 2 in
Ground Floor Height	4 ft	Yes.	8 in

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Setback – Front	15 ft	Yes.	32 ft 1 in	
(Maclay Ave)	1510	163.	32 1(1 111	
Setback – Rear	15 ft	Yes.	15 ft	
Setback – Side	0 ft	Yes.	5 ft / 19 ft	
Driveway Width	20 ft	Yes.	24 ft	
Residents' Parking	1 space for one- bedroom unit 2 spaces for 2-bedroom or larger unit	Yes.	1 + 2 x 3 = 7 required 7 regular parking spaces proposed	
Guest Parking	0.2 spaces per unit 0.2 x 4 = 0.8	Yes.	1 guest parking space proposed	
Parking Dimensions	9 ft x 19 ft regular size	Yes.	9 ft x 19 ft	
Projections – General	Varies	Yes.	Bay windows, balconies, staircases	
Common Open Space in addition to setbacks	150 sq ft per unit. 150 x 4 = 600 sq ft	Yes.	624 sq ft provided	
Private Open Space	60 sq ft per unit. Minimum dimension of 6 ft	Yes.	60-63 sq ft balconies provided in each unit, minimum dimension 6 ft	
	O IL	res.	minimum dimension o it	
Landscaping	Front 12 ft landdscaped to match sidewalk	Yes.	Fron 32 ft landscaped	
Trash	4 ½ ft x 15 ft (67.5 sq ft)	Yes.	5 ft 4 in x 8 ft 4 in x 2 = 88.8 sq ft provided	

ENVIRONMENTAL REVIEW:

Pursuant to the California Environmental Quality Act (CEQA), the approval of the proposed project is exempt under CEQA Guidelines Class 3 ("Small Structures") pertaining to construction and location of limited numbers of new, small facilities or structures, including a duplex or similar multi-family use with up to 4 units. The project site is in an urbanized area with no environmentally sensitive habitats or species of concern on the property, there has been no successive effort to intensify land uses in the area, and no unusual circumstances exist that would pose a reasonable possibility of having a significant effect on the environment, and the project does not involve or affect historic resources. Based on this analysis, no significant environmental

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effects would result from this project and the use of a categorical exemption is appropriate.

PUBLIC NOTIFICATION:

On February 1, 2024, a public hearing notice was published in the print and online versions of the legal advertisement section of the *San Fernando Sun Newspaper* (Attachment D). In addition, on February 1, 2024, a public hearing notice was posted at the Project Site, at the two City Hall bulletin boards, and at the local branch of the Los Angeles County Library at 217 N. Maclay Avenue. Notices of the public hearing for the SPR and CUP request were also mailed to all property owners of record within a 500-foot radius of the Project Site.

PUBLIC COMMENTS:

As of the date of preparation of this staff report, no comments were received from the public regarding this SPR and CUP for the project. Any comments received after the distribution of this report shall be read into the record at the public hearing.

BUDGET IMPACT:

The Project involves a private property and does not request or require public funds and has no direct fiscal impact on the City of San Fernando.

CONCLUSION:

Staff recommends that the Commission:

- a. Conduct a Public Hearing;
- b. Pending public testimony, adopt Planning and Preservation Commission ("Commission") Resolution No. 2024-001 (Attachment A) approving Site Plan Review 2023-023 and Conditional Use Permit 2023-003 and the Conditions of Approval attached therein as Exhibit "A" in order to entitle a new 4-unit residential development at 837 N Maclay Avenue.

ATTACHMENTS:

- A. Planning and Preservation Commission Resolution 2024-001
 - a. Exhibit "A": Conditions of Approval

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- B. Site Plan Review Application (SPR2024-023), Conditional Use Permit Application (CUP2023-003)
- C. Set of Plans
- D. Notice of Public Hearing Published in the San Fernando Sun Newspaper & Vicinity Map

RESOLUTION NO. 2024-001

A RESOLUTION OF THE PLANNING AND PRESERVATION COMMISSION OF THE CITY OF SAN FERNANDO, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT NO. 2023-003 AND SITE PLAN REVIEW NO. 2023-023 FOR THE DEVELOPMENT OF A 4-UNIT RESIDENTIAL PROJECT WITHIN THE MACLAY DISTRICT OF SP-5 LOCATED AT 837 N. MACLAY AVENUE (APN: 2516-033-008)

WHEREAS, an application was filed by Josefina Campos, 26073 O'Hara Ln, Stevenson Ranch, CA 91381 (the "Applicant"), to request for the approval of a Site Plan Review and a Conditional Use Permit to allow demolish of a 853 sq. ft. single family residence and construction of a 4-unit residential development with attached garages and associated site improvements at 837 N. Maclay Avenue within the Maclay District of the San Fernando Corridors Specific Plan Zone (SP-5); and

WHEREAS, the Applicant has requested approval of the requested pursuant to Table 4.1 of SP-5, the Maclay District allows for apartment developments as a conditionally permitted use and the proposed use meets the minimum development standards and has been processed in accordance to sections 106-111 to 106-113 of the City of San Fernando Zoning Code; and

WHEREAS, the proposed project is considered a "project" as defined by the California Environmental Quality Act (CEQA), Public Resources Code Section 21000 et seq.; and

WHEREAS, the project has been reviewed for compliance with the California Environmental Quality Act (CEQA) and it qualifies for an exemption from further environmental review pursuant to CEQA Guidelines section 15301, Class 3 –Small; and

WHEREAS, in accordance with State law, on February 1, 2024, the City of San Fernando Community Development Department published a legal notice concerning the proposed project in the San Fernando Sun, a local newspaper of general circulation, regarding the City of San Fernando Planning and Preservation Commission meeting of February 12, 2024, and mailed the notice to property owners located within a 500-foot radius of the project site; and

WHEREAS, on February 12, 2024, the Planning and Preservation Commission conducted a duly noticed public hearing, at which time public testimony was taken concerning the proposed Conditional Use Permit to demolish of a 853 sq. ft. single family residence and construct a 4-unit residential development with enclosed attached garages and associated site improvements at 837 N. Maclay Avenue within the Maclay District of the San Fernando Corridors Specific Plan Zone (SP-5).

NOW, THEREFORE, THE PLANNING AND PRESERVATION COMMISSION OF THE CITY OF SAN FERNANDO, CALIFORNIA, DOES HEREBY FIND, DETERMINE, AND RESOLVE AS FOLLOWS:

SECTION 1: ENVIRONMENTAL REVIEW FINDINGS

This project has been reviewed by the City for compliance with the California Environmental Quality Act (CEQA). The project site is in an urbanized area with no environmentally sensitive habitats or species of concern on the property, there has been no successive effort to intensify land uses in the area, and no unusual circumstances exist that would pose a reasonable possibility of having a significant effect on the environment, and the project does not involve or affect historic resources. Based on this analysis, no significant environmental effects would result from this project and the use of a categorical exemption is appropriate. As such, the proposed project is exempt from CEQA review pursuant to CEQA Guidelines section 15301, Class 3 – Small Structures exemption.

SECTION 2. FINDINGS FOR CONDITIONAL USE PERMIT

Pursuant to San Fernando Municipal Code Section 106-145 the following findings shall be made for approval of a Conditional Use Permit:

<u>Finding 1:</u> The proposed use is one conditionally permitted within the subject zone and complies with all of the applicable sections of this chapter.

<u>Evidence</u>: Pursuant to Table 4.1 of the San Fernando Corridors Specific Plan, the Maclay District allows for the development of apartments as a conditionally permitted use. The approval of the requested CUP would allow for the proposed entitlement of a new 4-unit residential development. The proposed development will not create a need for any variance from any development standards. The establishment of the use is consistent with the General Plan.

<u>Finding 2</u>: The proposed use would not impair the integrity and character of the zone in which it is to be located.

<u>Evidence</u>: The Project Site at 837 N. Maclay Avenue is located within the Maclay District of SP-5 and maintains a Multi-Use land use designation in the General Plan Land Use Element. The proposed development will not create a need for any variance from any development standards. Pursuant to The City's General Plan Land Use Element, future uses that are envisioned for the area include the operation of a mixture of uses.

To ensure the protection and preservation of the surrounding neighborhood, while fostering and promoting growth in the zone, the city's standard conditions of approval would be adopted to address issues associated with noise, trash and debris, and other public nuisance conditions. Noncompliance with the adopted conditions of approval would require the City to seek corrective action from the business owner and may lead to revocation of the required CUP. Thus, it is staff's assessment that this finding <u>can</u> be made.

<u>Finding 3</u>: The subject site is physically suitable for the type of land use being proposed.

<u>Evidence</u>: The project site is a 7,250 square foot lot or 0.17 acre parcel and is located on the western side of North Maclay Avenue south of Lucas Street and north of Glenoaks Boulevard. The Project Site abuts similarly zoned properties within the Maclay District of SP-5 to the north, south, and east. The neighboring properties to the west are zoned R-1 Single Family Residential. Parking for the project will consist of one one-car and three two-car garages. Therefore, the site is physically suitable as proposed.

<u>Finding 4</u>: The proposed use is compatible with the land uses presently on the subject property.

<u>Evidence</u>: The project site is designated by The General Plan Land Use Element as Multi-Use. The proposed CUP to allow for the entitlement of a new 4-unit residential development use would be compatible with the present land use. Currently the site is occupied with a residential use and therefore, the proposed residential use is compatible with the land use present on the subject property.

<u>Finding 5</u>: The proposed use would be compatible with existing and future land uses within the zone and the general area in which the proposed use is to be located.

<u>Evidence</u>: The San Fernando Corridors Specific Plan designates this site as the Maclay District, where future uses envisioned for the area include the operation of residential and service uses. It is also intended to provide uses which are supportive of or provide a direct service to adjacent uses. Furthermore, under City's General Plan Land Use Element the Project Site is designated Multi-Use land use area, where future uses envisioned for the area include the operation of a mixture of activities such as commercial, residential, and service uses. The request to allow the apartment use would entitle the already existing project site and therefore, is compatible with the land use present on the subject property.

<u>Finding 6</u>: There would be adequate provisions for water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety.

<u>Evidence</u>: The existing site is adequately served by existing water, sanitation, and public utilities. Any required future improvements to infrastructure and public utilities with the change of occupancy would be required to be developed in compliance with the requirements of the city's building and health and safety codes, including any requirements for offsite improvements and utility connections from the City's Public Works Department.

<u>Finding 7</u>: There would be adequate provisions for public access to serve the subject proposal.

<u>Evidence</u>: The project site is a 7,250 square foot lot or 0.17 acre parcel and is located on the western side of North Maclay Avenue south of Lucas Street and north of Glenoaks Boulevard. Parking for the project will consist of one one-car and three two-car garages. Thi site will provide shared use of the existing driveway approach off of Maclay Avenue.

<u>Finding 8:</u> The proposed use would be appropriate in light of an established need for the use at the proposed location.

Evidence: Within the Maclay District of SP-5 the operation of an apartment is a permitted use through the city's review and approval of a conditional use permit. The request to entitle a new 4-unit residential development is an appropriate and compatible use for the types of uses currently established and potentially permitted in the Maclay District. Pursuant to SP-5, the Maclay District allows housing at densities high enough 1) to provide housing units that can serve the local population, 2) to generate developments that are well-matched to the corridor environment and 3) sensitive to the scale, character and value of existing neighborhoods behind corridor fronting properties. Approval of the CUP for the operation of an apartment development helps to promote development of residential uses. CUP approval at the Project Site expands current uses, which in turn helps draw new similar types of development to the area and create an active mixed-use district. Thus, it is staff's assessment that this finding <u>can</u> be made in this case.

<u>Finding 9</u>: The proposed use is consistent with the objectives, policies, general land uses and programs of the city's general plan.

Evidence: The City's General Plan Land Use Element designates the Project Site as Multi-Use land use area, a location where future uses envisioned for the area include the operation of more than one type of development. This division is designed to facilitate the development of commercial, residential, and service uses and increase business activity within the vicinity and with adjacent land uses. It is also intended to provide a small town feel of the City of San Fernando and helps maintain an identity within the area that is distinct from surrounding communities. The entitlement of a new 4-unit residential development would meet the density standards and would meet the goals of the specific district to maintain a walkable pedestrian scaled environment and supports the Housing Element Goal 1.0, Policy 1.2 which looks to maintain and enhance the quality of existing neighborhoods by maintaining the character of the established neighborhood through the development of new residential units. The density for this site allows for a maximum of 37 dwelling units per acre, this site measuring 0.17 acres would allow for a maximum number of units of 6.29, and therefore, is consistent with the General Plan.

<u>Finding 10</u>: The proposed use would not be detrimental to the public interest, health, safety, convenience or welfare.

<u>Evidence</u>: The requested CUP to entitle a new 4-unit residential development use in the Maclay District as established in Table 4.1 of SP-5 will not be detrimental to the public interest, health, safety, convenience or welfare due to the fact that the proposed use will be consistent with and complement established uses within the vicinity. The proposed entitlement will provide a new paved driveway, new landscaping and new garages which will serve the tenants and provide an overall improvement to the site. With the adoption of the recommended conditions of approval for the requested CUP, the applicant would be required to provide sufficient safeguards to deter

any potential public nuisance issues and protect public interest, health, safety, convenience or welfare. Noncompliance with the conditions of approval for an approved CUP would require corrective action on behalf of the property owner and may result in revocation of the granted CUP. Thus, it is staff's assessment that this finding <u>can</u> be made in this case.

SECTION 3. RECORD OF PROCEEDING

The documents and other materials that constitute the record of the proceedings upon which the Planning and Preservation Commission's decision is based, which include, but are not limited to, the environmental documents, staff reports, as well as all materials that support the staff reports for the proposed project and are located in the Community Development Department of the City of San Fernando at 117 Macneil Street, San Fernando, CA 91340. The custodian of these documents is the City Clerk of the City of San Fernando.

SECTION 4. DETERMINATION

The Project is consistent with the objectives, policies, and general land uses and programs provided in the City's General Plan and the applicable development standards for the Downtown District of the San Fernando Corridors Specific Plan (SP-5). Therefore, the Planning and Preservation Commission approves Conditional Use Permit No. 2023-003 and Site Plan Review 2023-023, subject to conditions of approval attached hereto as Exhibit "A".

SECTION 5. CERTIFICATION OF THE RESOLUTION

The Secretary of the Planning and Preservation Commission of the City of San Fernando, California, shall certify the adoption of this resolution.

	PASSED,	APPROVED	, AND A	DOPTED t	his 12th	day of F	ebruary,	2024, b	y the	following
votes:										
AYES:										
NOES:										
ABSEN	IT:									
ABSTA	IN:									

	DAVID BERNAL, CHAIRPERSON
ATTEST:	2 22
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ERIKA RAMIREZ, SECRETARY TO THE PLANNING AND PRESERVATION COMMISSION	

CONDITIONS OF APPROVAL

PROJECT NO.: Site Plan Review No. 2023-023

Conditional Use Permit No. 2023-003

PROJECT ADDRESS: 837 N Maclay Ave, San Fernando, CA 91340

(Assessor's Parcel Number 2516-033-008)

PROJECT DESCRIPTION: Site Plan Review and Conditional Use Permit

for a new 4-unit residential development.

The following conditions shall be made a part of the approval of the project, and shall be complied with in their entirety, as determined by the Community Development Department:

NO.	CONDITION OF APPROVAL	AGENCY	COMPLIANCE VERIFICATION
	GENERAL		
1.	This Site Plan Review and Conditional Use Permit are granted for the land use and development of the Property as described in this application and any attachments thereto, as reviewed by the Planning and Preservation Commission on February 12, 2024, and shall be maintained in substantial conformance with the plans and materials, except as herein modified to comply with these Conditions of Approval.	Planning	
2.	Expiration. The Site Plan Review and Conditional Use Permit approval to which these Conditions of Approval apply shall expire one year from the date of final approval of said Site Plan Review and Conditional Use Permit if the approval has not been exercised by submitting construction plans to the Building Division for plan check review. An applicant may request an extension of said expiration date by filing a written request with the Planning Division prior to the expiration of the approval. The Community	Planning	

	Development Director may grant extensions of 6 months but no more than 2 or a total of 12 months of extended time may be given.		
3.	Revocation. Violation of, or noncompliance with, any of these conditions of approval may constitute grounds for revocation of this conditional use permit, as provided below: a. Upon the issuance of, and conviction for, three zoning violation citations; b. Where conditions and activities associated with the operation of the future tenant, as defined herein, interfere with the quiet enjoyment of life and property in the neighborhood, or are or tend to be, injurious to health and safety of persons in the neighborhood. These include, but are not limited to the following: i. Excessive noise, noxious smells or fumes, loitering, littering, disturbing the peace, illegal drug activity, public vandalism, graffiti, lewd conduct, gambling, illegal parking, traffic violations, theft, assaults, batteries; ii. Police detention, citation, and/or arrests for these or any other unlawful activity attributed to the sale and/or consumption of illegal items declared by the City to be a public nuisance.	Planning, Code Enforcement, Police	
4.	Alterations. Any expansion to this use or exterior alterations will require the submittal of a separate application(s) and shall be reviewed and approved under separate permit(s).	Planning	
5.	Acceptance. Within 30 days of this approval, the applicant and property owner shall certify his/her acceptance of the conditions of approval or modifications thereto by signing the acceptance form and shall be bound by all of the conditions.	Planning	
6.	Recordation. The applicant shall provide the Community Development Department with proof that the conditions of approval have been recorded with the Los Angeles Registrar Recorder/County Clerk's Office.	Planning	

7.	Indemnification. The property owner and the project applicant, shall indemnify, protect, hold harmless and defend the City and any agency or instrumentality thereof, and/or any of its officers, employees and agents from any and all claims, actions, or proceedings against the City to attack, set aside, void, annul, seek monetary damages resulting from an approval of the City, or any agency or instrumentality thereof, advisory agency, appeal board or legislative body including actions approved by the voter of the City, concerning the entitlement application. City shall promptly notify both the property owner and developer of any claim, action, or proceeding to which this condition is applicable and shall further cooperate fully in the defense of the action. The City reserves its right to take any and all action the City deems to be in the best interest of the City and its citizens in regard to such defense. The property owner and developer shall defend, indemnify and hold harmless the City for all costs and fees incurred in additional investigation or study of, or for supplementing, redrafting, revising, or amending, any document (such as an environmental impact report or related environmental assessment) if	All Depts.
8.	made necessary through the initiation of the project. Code Compliance. The project shall be in compliance with all of the provisions of the San Fernando Municipal Code. The applicant shall also comply with all other requirements of any applicable federal, state, or local law, ordinance, or regulation, including 2022 California Building, Electrical, Plumbing, Mechanical, Energy & Green Building Standards Codes.	All Depts.
9.	Construction Hours. Construction activity on Mondays through Fridays shall comply with the current San Fernando City Code standards for construction of 7:00 a.m. to 6:00 p.m. In addition, any construction on Saturday shall be from 8:00 a.m. to 6:00 p.m. Unless otherwise allowed in the City's Noise Ordinance, no construction shall be allowed on Sundays and Federal Holidays.	Building
10.	Waste. All project-related solid and recyclable waste	Public Works

	materials removal shall be in accordance with SFMC Chapter 70 – "Solid Waste and Recyclables Collection Services". All trash receptacles shall be placed in a confined area within the property out of sight of the public right of way as well as off of public property except for trash collection activities. The property shall provide adequate trash and recycling capacity and shall comply with Assembly bills 939, 1826 and 341 waste diversion goals. Please contact Brianna N. Solis at Bsolis@republicservices.com to ensure collection services are provided.	
11.	<u>Property Maintenance</u> . The subject site and its immediate surrounding area shall be maintained in a clean, neat and orderly manner at all times and shall comply with the property maintenance standards as set forth in the San Fernando City Code.	Code Enforcement
12.	Landscape. All proposed on-site and off-site plantings shall be kept in a healthy and growing condition, consistent with the design of a landscaping and irrigation plan approved by the Community Development Department. Fertilization, cultivation, tree pruning shall be a part of regular maintenance. Good horticultural practices shall be followed in all instances.	Planning, Code Enforcement
13.	Signage. No signage shall be allowed on the property. The only allowable signage permitted on a temporary basis shall be "For Lease" signage to indicate a vacancy at the property.	Planning
14.	<u>Graffiti.</u> The property owner shall remove any graffiti from the project site within 24 hours of its occurrence, or as requested by the City.	Police / Public Works
15.	Site Inspections. The Community Development Department shall have the authority to inspect the site to assure compliance with these conditions of approval. The applicant and all successors shall grant the right of access to authorized agents of the City of San Fernando to conduct periodic inspections of the property.	Planning, Building, Code Enforcement

16.	A copy of these conditions of approval shall be printed on the building construction plans.	Building	
	Prior to Issuance of a Building Pe	rmit	
	(NOTE: Additional comments may be added d	uring Plan Chec	k)
17.	Replacement Unit Determination. Provide documentation to the satisfaction of the City to make a replacement unit determination pursuant to SB 330/SB 8 / AB 1218 and the requirements of Government Code Section 66300.6, as applicable.	Planning	
18.	Quimby Fee. The City's residential development fee for parkland acquisition or enhancement ("Quimby fee") shall be paid in full. The required development fee is calculated with a formula: land value per square foot times number of dwelling units times 235 square foot per unit. Staff will establish land value by either an independent appraisal (at the applicant's expense) or by the applicant providing the City with satisfactory proof of purchase.	Planning	
19.	 Grading & Paving Requirements. This project must comply with all Grading & Paving requirements designated in the California Green Building Standards Section 5.106.10 These include the following: Swales Water collection & disposal systems French drains Water retention gardens Other measures which keep surface water away from other buildings. 	Building	
20.	Grading Permit. All grading shall conform to the 2022 California Building Code, and all other relevant laws, ordinances and resolutions governing grading as adopted by The City of San Fernando. The applicant shall be submit geotechnical and/or soils reports to the Building & Safety Department for review and approval to obtain a grading permit prior to commencing any grading or site excavation.	Building, Public Works	

21.	A Drainage Study of the site shall be performed and any improvements necessary to prevent runoff from any future development onto adjacent properties shall be provided or ensured by a bond.	Public Works
22.	Soil Contamination. The applicant shall verify to the City's satisfaction that there is no existing contamination of soil on the site.	Building
23.	A Landscape and Irrigation Plan shall be submitted in compliance with the latest State Model Water Efficient Landscape Ordinance (MWELO) and the City's Water Efficient Landscaping regulations in Division 5 and Section 70-147 of the San Fernando Municipal Code (SFMC). The Landscape and Irrigation Plan shall include both on-site and off-site landscaping and irrigation with details of but not limited to, plant species, size, count, ground cover, and hardscape material.	Building
24.	An Exterior Lighting Plan including details of proposed fixtures with electrical & energy calculations shall be provided.	Building
25.	A complete ADA Plan (interior & exterior). Include path of travel, stripping, dimensions, signage, etc. shall be provided.	Building
26.	<u>Fire Sprinklers.</u> This project shall have fire sprinklers and comply with all relevant laws, ordinances & resolutions governing fire sprinklers as adopted by the City of San Fernando (Current Building Codes apply).	Building
27.	Demolition Permit. A demolition permit for existing structures must be obtained with The City of San Fernando Building & Safety Department prior to any onsite demolition. The demolition shall comply with all applicable building and safety code requirements and clearance shall be obtained from the Air Quality Management District ("AQMD") prior to demolition.	Building
28.	<u>SCAQMD.</u> South Coast Air Quality Management	Building

	District ("SCAQMD") must be contacted prior to any demolition, excavation or renovation. Call (909) 396-2000 for further information. Failure to comply with the provisions of Rule 1403 may result in a penalty of up to \$25,000 per day. Once approval from SCAQMD has been obtained, a City of San Fernando Demolition Permit is required for any existing buildings or structures which are to be demolished and must be obtained prior to any work commencing.		
29.	Fire Department. Apply to the City of Los Angeles Fire Department, Fire Life Safety Unit and Hydrants and Access Unit, and provide clearance from them.	Building	
	Prior to Issuance of a Certificate of Oc	ccupancy	
30.	Affordable Protected Units. A land use covenant shall be recorded with the Los Angeles County Registrar / Recorder against the property if any unit in the project qualifies as an affordable protected unit.	Planning	
31.	Construction Hours. Construction activity on Mondays through Fridays shall comply with the current San Fernando City Code standards for construction of 7:00 a.m. to 6:00 p.m. In addition, any construction on Saturday shall be from 8:00 a.m. to 6:00 p.m. Unless otherwise allowed in the City's Noise Ordinance, no construction shall be allowed on Sundays and Federal Holidays.	Building	
32.	Public Works Requirements. The property owner shall comply with the requirements for development and improvement of the site as listed in the attached "Public Works Department Development / Improvement Review Checklist." (See Attachment 1). Contact person: Patsy Orozco, 818-898-1224, POrozco2@sfcity.org	Public Works	
33.	<u>Utilities.</u> All on-site utilities shall be located underground. Applicant shall provide any easements as necessary. Overhead utility facilities and distribution lines located on the site or off-site adjacent to the perimeter of the site shall be removed	Planning, Public Works	

	and/or placed underground unless determined to be unfeasible by Community Development Department. The applicant shall comply with all development standards and health and safety requirements or guidelines of any relevant utility company, the Public Utilities Commission and the City of San Fernando ("City") relating to construction or residential occupancy in proximity to any remaining overhead utility distribution facilities, and to the design of new utilities placed underground or elsewhere.		
34.	Electrical equipment. Electrical distribution facilities/equipment (transformers, load centers, panel boxes and meters, major conductors, underground conduits, etc.) shall be designed/located in conformance with California Public Utilities Commission recommendations for "prudent avoidance" of exposures of dwelling unit occupants to power frequency electromagnetic fields (EMF) that are above background levels.	Building	
35.	Surface Runoff. All requirements of the National Pollutant Discharge Elimination System (NPDES) shall be complied with and an NPDES permit, including but not limited to the installation of any required clarifiers and/or on-site infiltration system, must be obtained prior to any occupation or use of the site. During construction, the project site shall comply with all applicable Best Management Practices (BMPs).	Public Works	
36.	<u>Tree Protection.</u> Provide a Tree Protection Tree for the existing Camphor Tree to ensure its health and safety during the construction.	Building	
37.	Anti-graffiti Coating. The property owner shall apply two coats of anti-graffiti paint on all exterior building walls.	Building, Code Enforcement	
38.	<u>Final Inspection.</u> A final inspection shall be conducted by the Planning Division to ensure the development complies with the approved site plan review and all conditions attached thereto.	Planning	

39.	Modifications. Unless the chief Community Development Director deems a proposed change to the approved plans and operation a minor modification, any and all other modifications to the development plan, including these conditions of approval, shall require review and approval by the Planning and Preservation Commission.	Planning
40.	Covenants Conditions and Restrictions. CC&R's addressing issues of common interest regarding use, access and maintenance of common open space, tree planter areas, planting strips, walkways and parking and/or vehicular use areas shall be reviewed by the Community Development Department and shall be recorded before the issuance of a Certificate of Occupancy.	Planning

Attachment 1: Public Works Checklist

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CITY OF SAN FERNANDO PUBLIC WORKS DEPARTMENT DEVELOPMENT / IMPROVEMENT REVIEW CHECK LIST

PROJECT: SPR 2023-23 Demo SFR & Construct Two (2) Duplexes DATE: 12/1/23

		REQU	IRED?		
	ПЕМ	YES	NO	COM	PLIED? COMMENTS
	Site plan must show:				
	a. Existing building or structure	1			
	b. Existing public improvements (concrete sidewalk driveways, curbs and gutters, parkway trees, street lights, hydrants, etc.) including existing and proposed dimensions, square footage, etc.	10			
	c. Existing utilities (gas, sewer, water, storm drains, catch basins, power poles).				
2.	Submit offsite improvement plan.		1		
3.	Prior to issuance of building permit:				
	a Pay sewer capital facility charge.				Based on Residential Duplex: 1 Bedroom: 1 x \$1,016*= \$1,016 2 Bedroom: 1 x \$1,407* = \$1,407 3 Bedroom: 2 x \$1,798* = \$3,596 \$6,019*
	b Pay water capital facility charge.				Existing ¾" inch water meter. See attached fee schedule for additional water meters or upgrades.
	c Pay water service installation charge.	-			Existing 3/4" inch water meter. See attached fee schedule for additional water meters or upgrades.
	d Pay fire service installation deposit.		1		
	e Pay fire hydrant installation deposit.		~		Unless required by City of Los Angeles Fire Department.
	f Pay plan check fee (Offsite).				\$340
	g Pay inspection fee (Offsite).	1			
	h Provide labor and material bond.		~		
	i Provide performance bond.		~		
	Is there existing sewer house connection to property?	1			
5.	Is there existing water service to the property?	1			
Ď.	Provide separate water service for each building or separate ownership.	10			
	Provide separate sewer connection for each building.				Developer may construct new sewer main from street to site and connect each of the building sewer laterals to it.
	Underground all utilities to each unit/building.	1			Underground all lighting and utilities.
).	Cap off existing sewer connection that will no longer be used.	-	•		
0.	Abandon all existing water service and install new copper ones per plan.				
1.	Upgrade existing substandard hydrant to 6-inch wet barrel hydrant (4"X 2.5" outlet).		1		
2.	Install new hydrant per City standard.		~		Unless required by City of Los Angeles Fire Department.

PRO	DJECT ADDRESS: 837 N Maclay Aven	<u>ue</u>		
		REQUIRED?		
	ITEM	YES	NO	COMPLIED? COMMENTS
13.	Satisfy City of Los Angeles Fire Dept. fire flow requirements.	1		Obtain clearance from City of Los Angeles Fire Department.
14.	Provide City approved backflow device for the domestic water service and/or landscape irrigation, provide proof that said equipment has been tested by a certified tester.			Provide one backflow device for every water service. Provide additional backflow device for irrigation/landscaping
15.	Remove existing driveway approach that will no longer be used. Replace depressed curb.			
16.	Construct PCC driveway approach 6-inch thick per City Standard.			Remove existing driveway approach and construct new driveway approach with sidewalk that complies with ADA.
17.	Construct wheel chair ramp per City Standard.			
18.	Remove and replace broken/damaged/deteriorated concrete sidewalk adjacent to property.			Approximately 50 sf.
19.	Remove and replace broken curb/gutter adjacent to property.			
20.	Plant parkway trees per City Standard and City Master Tree Plan.		1	
21	Construct tree wells per City Standard with tree grates.		100	
22	A permit from the Public Works Dept. (Engineering Division) is required for all offsite improvements.			
23.	All on-site pavement shall be minimum of 3-inch AC on 4 inch CAB or 6-inch PCC pavement without soil recommendation.	1		
24.	Construct trash enclosure, nominal size 5 feet X 9 feet with PCC slab and 6-inch PCC curb with 6-inch PCC apron.			
25.	Verify that clarifier/grease trap intercepts effluent before entry into the sewer lateral.			
26.	Federal NPDES Requirements			
	a. Provide a SWPPP that incorporates construction BMP's in compliance with Federal NPDES.			
	b. Provide a SUSMP that incorporates design elements and facility BMP's in compliance with Federal NPDES.			
27.	Comply with all applicable existing conditions of approval for the proposed development.			
28.	 Additional requirements: Submit Utility Plan showing all existing public utility Also show any proposed relocation of sewer lateral with development. Submit Drainage Plan for on-site as well as elevated Maclay Avenue and neighboring properties and how Submit Soils Report for on-site. Comply with applicable federal NPDES requirements 	ls, water s ions alon w the diff	service, v g the adj	water meter, and fire hydrant and how they line up ljacent lots. Show how development will drain to flow will be mitigated.

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PUBLIC WORKS DEPARTMENT



SITE PLAN REVIEW/ PLANNING REVIEW APPLICATION

DEVELOPMENT REVIEW PROCESS

The Development Process is used to review all project proposals (i.e., residential, commercial, industrial, and conditionally permitted uses). The process enables various City Departments and Divisions (i.e., Planning, Building, Public Works, Police, and Fire) to thoroughly analyze each proposal for conformity with the provisions established in the City's Municipal Code.

Additionally, the review process is to ensure consistency with applicable development standards, design guidelines, and building code requirements, as well as that each development proposal is designed to be compatible with any existing structures and uses on-site and/or the neighboring properties. In this way, the quality and economic health of the City's residential, commercial, and industrial districts are maintained.

PRE-SUBMITTAL REVIEW (INFORMAL)

- Step 1 Applicant discusses project proposal with Planning Division.
- Step 2 Planning Division directs applicant to appropriate City Departments and Divisions for preliminary discussion requirements.
- Step 3 Planning Division advises applicant on steps necessary to receive final project approval (i.e., Staff level approval, Planning Commission, Redevelopment Agency).

What a Pre-submittal Review Can Do:

- Identify potential development issues or adverse environmental impacts with the proposed development.
- Provide possible alternatives or potential mitigation measures for identified issues with the proposed development.
- · Provide general interpretation of the code and methods of compliance utilized on previous developments.

What a Pre-submittal Review Cannot Do:

- Predict the outcome of the actual Site Plan Review.
- Reveal all potential issues which may arise for a proposed development.
- Identify all mitigation measures at this step of the review process.

SITE PLAN REVIEW PROCESS

- Applicant submits **two (2)** sets of site plan, conceptual landscape plan, floor plan, roof plan, and elevation drawings along with a **CD** containing these documents as an electronic file (Adobe PDF file format) to the Planning Division accompanied by a complete Site Plan Review application and required filling fees. Submitted set of drawings must be stapled and pre-folded to approximately 8½ x 11 inches.
- Step 5

 FILING FEE: \$3,676.58 (Site Plan Review (SPR) Fee \$3,197.03 + Activity Information Management System (AIMS) Surcharge \$319.70 + General Plan Update (GPU) Surcharge \$159.85) for a Site Plan Review. A \$1,838.30 filing fee (SPR Fee \$1,598.52 + AIM Surcharge \$159.85 + GPU Surcharge \$79.93) would apply to a single family detached dwelling on one lot with residing owner occupant who is proposing an addition of ≥ 50% of the existing square feet of the living area. A \$375.36 filing fee (SPR Fee \$326.40 + AIMS Surcharge \$32.64 + GPU Surcharge \$16.32) would apply to a single family detached dwelling on one lot with residing owner occupant who is proposing an addition of ≤ 49% of the existing square feet of the living area.
 - A \$75.00 check made payable to the Los Angeles County Registrar/Recorder will be required for recordation of the environmental assessment for the approved project.
- Step 6 Planning Division routes the project plans to various City Departments and Divisions for review and comment. A meeting is held with various Departments and Divisions to review and discuss the project proposal. (Approximately 4 weeks).
- Step 7 Planning Division transmits comments and informs applicant of next process for final project approval. If any corrections and/or additional information are required, staff will provide a written summary to the applicant. The plans must then be corrected and resubmitted to the Planning Division for further review.



SITE PLAN REVIEW/ PLANNING REVIEW APPLICATION

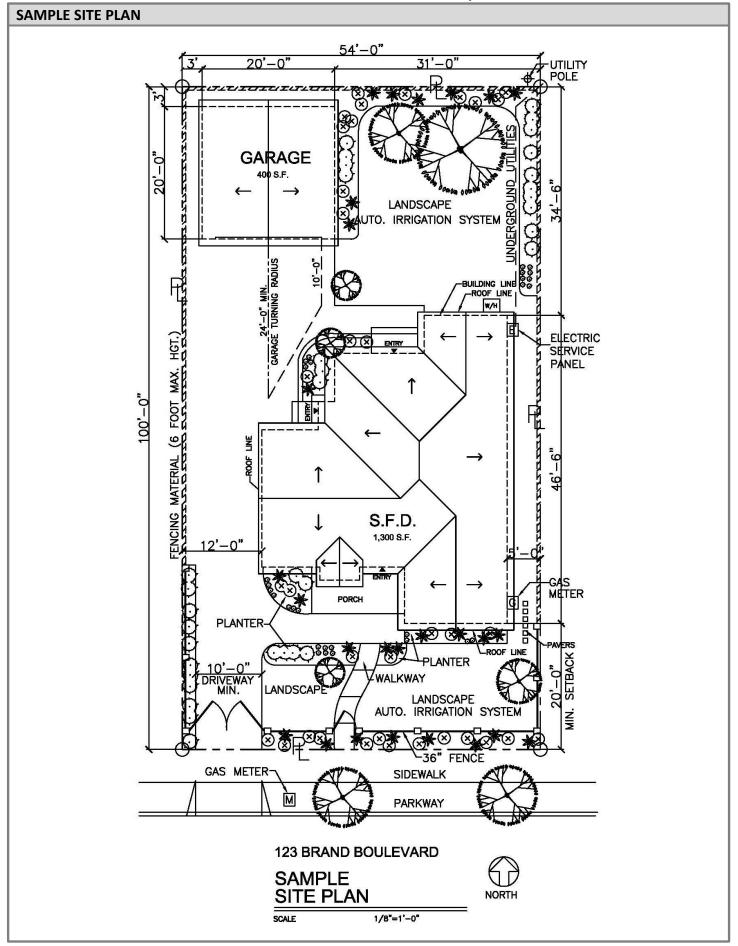
FINAL R	EVIEW PROCESS					
Step 8	Planning Division determines required process for final project approval.					
Step 9	If the project does not require any other review or approvals, the project may be submitted to the Building Division for Plan Checking (skip to step 11). However, if the project requires Planning Commission (i.e., Conditional Use Permit, Variance, General Plan Amendment, Zone Change, and Subdivision) or Redevelopment Agency approval, proceed to next step.					
Step 10	Submit seventeen (17) sets of site plan, conceptual landscape plan, floor plan, roof plan, and ele Planning Division accompanied by the City-provided application and required filling fee (to include		_			
Step 11	Planning Division schedules the project to be reviewed by the appropriate hearing body. If approximately required revisions, may be submitted to the Building Division for Plan Checking. (Approximately required revisions)					
PLAN CI	HECKING AND PERMIT ISSUANCE					
Step 12	Applicant submits two (2) sets of complete construction plans and documentation to the Building Division with the required Plan Check fee. Prior to acceptance by the Building Division, the Planning Division shall review the plans to ensure that they include any and all requested revisions. Building Division routes plans to other Departments and/or Divisions for review and approval. (Approximately 3 weeks) .					
Step 13	The plans are reviewed for compliance with applicable City and State Uniform Building and Fire Codes. If any deficiencies are noted, the plans must be corrected and resubmitted to the Building Division for further review. However, if the plans are approved or approved with conditions, building permits may be obtained.					
Step 14	Once the plans have received Building Division approval and all other Division and Department (i.e., Planning, Public Works, Fire, etc.) approvals, building permits may be issued. The building permit fee is based on the valuation of the proposed development. This is determined by the type of construction and cost per square foot as adopted in the City's fee schedule. Also, any Public Works fees must be paid at this time. Additionally, the applicant is required to pay a school fee (\$x.xx/sq. ft. of building area) to the Los Angeles Unified School District. Upon completion of construction a Certificate of Occupancy will be granted.					
Decisions of City Staff may be appealed to the Planning Commission. Additionally, decisions of the Planning Commission are appealed to the City Council. Appeals must be filed with the City Clerk within ten (10) days of the decision. The fee to appeal a decision is ½ the application fee. The City's Planning Division will coordinate the entire development review process.						
	SED DEVELOPMENT REVIEW CHECKLIST The following checklist will aid the Planning Divise required for the proposed development submittal.	ion in deteri	mining the			
	project propose new, altered, or the replacement of any of the following:					
Electrical,	mechanical, and/or plumbing fixtures and systems	YES	☐ NO			
Roofing n	naterial (no structural changes to roof design)	YES	□ NO			
Change o	f window(s) (not materially altering the appearance or character of the structure)	YES	☐ NO			
Does the	Does the project propose <u>any</u> interior alterations (does not increase square footage or building height)?					
Does the project propose new landscaping and/or hardscaping (including plant materials, driveways, walkways, and planters)?						
Does the project propose the removal of any mature trees?						
Does the project propose any new and/or additional business identification signage?						
Does the	Does the project propose any new wall or fence construction?					
Does the	Does the project proposal require any building demolition?					
Does the	Does the project propose the construction of any carport or garage?					



SITE PLAN REVIEW/ PLANNING REVIEW APPLICATION

PROPOSED DEVELOPMENT REVIEW CHECKLIST (CONTINUED)						
Does	the project propose to enclose a porch or staircase?	☐ YES	□ NO			
Does	the project propose a new and/or additional deck, patio cover, or trellis?	☐ YES	□ NO			
Is the	e project proposed on a vacant parcel of land?	☐ YES	□ NO			
Is an	accessory dwelling unit proposed?	☐ YES	□ NO			
Does	the project propose new residential, commercial, industrial, or institutional buildings?	☐ YES	□ NO			
Is an	y proposed accessory structure greater than 400 square feet?	☐ YES	□ NO			
Does	the project propose an additional residential unit in an existing residential development?	☐ YES	□ NO			
	the project propose a primary residential building that will be larger than the average of structures in mmediate vicinity in the same zone?	YES	□ NO			
Is <u>an</u>	v change in use proposed (i.e.: residential to commercial, single-family to multi-family, etc)?	☐ YES	☐ NO			
Will	the proposal expand or intensify a current land use?	☐ YES	□ NO			
Does	☐ YES	□ NO				
Does	the project propose an addition greater than 50% of the existing square footage of the structure?	☐ YES	☐ NO			
Will park	☐ YES	□ NO				
Does build	the proposal include \underline{any} addition in square footage to a commercial, industrial, or institutional ing?	☐ YES	□ NO			
SITE	PLAN SUBMITTAL REQUIREMENTS – CONTENT OF THE SITE PLAN					
The s	ite plan shall indicate clearly and will full dimensions the following information:					
(1)	Lot dimensions, setbacks, yards, and open space.					
(2)	NOG. 31, 1711					
(3)						
(4)	AL LEODNI'					
(5)						
(6)	Access: pedestrian, vehicular, service; and definitions of all points of ingress and egress.					
(7)	(7) North arrow, scale, and site address.					
(8)						
(9)						
(10)						
(11) Landscaping: including existing mature trees and proposed trees and plant materials.						
(12)						
(13)	(13) Drainage and grading plan.					
(14)						







SITE PLAN REVIEW/ PLANNING REVIEW APPLICATION

APPLICANT INFORMATION				
APPLICANT NAME	PHONE NUMBER			
MAILING ADDRESS	_			
EMAIL ADDRESS	FAX NUMBER			
DDOLECT INFORMATION				
PROJECT INFORMATION SITE ADDRESS				
SITE ADDRESS				
REQUEST (WHAT IS BEING APPLIED FOR)				
SANFE				
ASSESSORS PARCEL NUMBER(S) "APN"				
BUILDING SIZE				
BUILDING SIZE				
BUILDING ADDITION (IF ANY)	7 \ 3 \			
PARKING AVAILABLE (NUMBER)	101			
LANDSCAPING PROVIDED (IN SQUARE FEET)	LANDSCADING DROVIDED (IN SOLIADE EEET)			
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INCORPORATED AUG. 31, 1911



SITE PLAN REVIEW/ PLANNING REVIEW APPLICATION

ENVIRONMENTAL INFORMATION FORM (APPLICANT)	
GENERAL INFORMATION	
NAME AND ADDRESS OF DEVELOPER OR PROJECT SPONSOR	
2. ADDRESS OF PROJECT	ASSESSOR'S BLOCK AND LOT NUMBER
3. NAME, ADDRESS, AND TELEPHONE NUMBER OF PERSON TO BE CONTACTED CO	NCERNING THIS PROJECT
LIST AND DESCRIBE ANY OTHER RELATED PERMITS AND OTHER PUBLIC APPIREQUIRED BY CITY, REGIONAL, AND FEDERAL AGENCIES SITE PLAN REVIEW & CUP	ROVALS REQUIRED FOR THIS PROJECT, INCLUDING THOSE
SITE FLAN NEVIEW & COP	
5. EXISTING ZONING DISTRICT	EP
6. PROPOSED USE OF SITE (PROJECT FOR WHICH THIS FORM IS FILLED)	
PROJECT DESCRIPTION	
7. SITE SIZE 50 X 145	3 6
8. SQUARE FOOTAGE 7,269	
9. NUMBER OF FLOORS OF CONSTRUCTION	
10. AMOUNT OF OFF-STREET PARKING PROVIDED A LIG 3 1 1 9	TED X
11. PROPOSED SCHEDULING	
12. ASSOCIATED PROJECTS N/A	
13. ANTICIPATED INCREMENTAL DEVELOPMENT N/A	
14. IF RESIDENTIAL, INDICATE THE NUMBER OF UNITS, SCHEDULE OF UNIT SIZES, RASIZE EXPECTED	ANGE OF SALE PRICES OR RENTS, AND TYPE OF HOUSEHOLD
15. IF COMMERCIAL, INDICATE THE TYPE, WHETHER NEIGHBORHOOD, CITY OR REGI LOADING FACILITIES	IONALLY ORIENTED, SQUARE FOOTAGE OF SALES AREA, AND
16. IF INDUSTRIAL, INDICATE TYPE, ESTIMATED EMPLOYMENT PER SHIFT, AND LOAD	
17. IF INSTITUTIONAL, INDICATE THE MAJOR FUNCTION, ESTIMATED EMPLOYMEN AND COMMUNITY BENEFITS TO BE DERIVED FROM THE PROJECTS	T PER SHIFT, ESTIMATED OCCUPANCY, LOADING FACILITIES,



SITE PLAN REVIEW/ PLANNING REVIEW APPLICATION PROJECT DESCRIPTION (CONTINUED) 18. IF THE PROJECT INVOLVES A VARIANCE, CONDITIONAL USE OR REZONING APPLICATION, STATE THIS AND INDICATE CLEARLY WHY THE APPLICATION IS REQUIRED **ENVIRONMENTAL SETTING** *Please attach a brief description of the property involved (#19) and the surrounding area (#20).* This can be very short and simple, a paragraph for each item. 19. ON A SEPARATE PAGE, DESCRIBE THE PROJECT SITE AS IT EXISTS BEFORE THE PROJECT, INCLUDING INFORMATION ON TOPOGRAPHY, SOIL STABILITY, PLANTS AND ANIMALS, AND ANY CULTURAL, HISTORICAL OR SCENIC ASPECTS. DESCRIBE ANY EXISTING STRUCTURES ON THE SITE, AND THE USE OF THE STRUCTURES. ATTACH PHOTOGRAPHS OF THE SITE. 20. ON A SEPARATE PAGE, DESCRIBE THE SURROUNDING PROPERTIES, INCLUDING INFORMATION ON PLANTS AND ANIMALS AND ANY CULTURAL, HISTORICAL OR SCENIC ASPECTS. INDICATE THE TYPE OF LAND USE (RESIDENTIAL, COMMERCIAL, ETC.), INTENSITY OF LAND USE, AND SCALE OF DEVELOPMENT (HEIGHT, FRONTAGE, SET-BACK, REAR YARD, ETC.). ATTACH PHOTOGRAPHS OF THE VICINITY. **ENVIRONMENTAL IMPACT** Are the following items applicable to the project or its effects? Discuss all items below checked "ves" (attach additional sheets as necessary). 21. CHANGE IN EXISTING FEATURES OF ANY BAYS, TIDELANDS, BEACHES, OR HILLS, OR SUBSTANTIAL ALTERATION OF ☐ YES ON **GROUND CONTOURS?** 22. CHANGE IN SCENIC VIEWS OR VISTAS FROM EXISTING RESIDENTIAL AREA OR PUBLIC LANDS OR ROADS? YES ON [23. CHANGE IN PATTERN, SCALE OR CHARACTER OF GENERAL AREA OF THE PROJECT? YES □ NO 24. SIGNIFICANT AMOUNTS OF SOLID WASTE OR LITTER? ☐ YES □ NO 25. CHANGE IN DUST, ASH, SMOKE, FUMES, OR ODORS IN VICINITY? ☐ YES П по CHANGE IN OCEAN, BAY, LAKE, STREAM, OR GROUND WATER QUALITY OR QUANTITY, OR ALTERATION OF ☐ YES □ NO **EXISTING DRAINAGE PATTERNS?** 27. SUBSTANTIAL CHANGE IN EXISTING NOISE OR VIBRATION LEVELS IN THE VICINITY? ☐ YES □ NO YES П по 28. SITE ON FILLED LAND OR SLOPE OF 10 PERCENT OR MORE? USE OF DISPOSAL OF POTENTIALLY HAZARDOUS MATERIALS SUCH AS TOXIC SUBSTANCES, FLAMMABLES OR ☐ YES NO **EXPLOSIVES?** 30. SUBSTANTIAL CHANGE IN DEMAND FOR MUNICIPAL SERVICES (POLICE, FIRE, WATER, SEWAGE, ETC.)? ☐ YES □ NO 31. SUBSTANTIAL INCREASE IN FOSSIL FUEL CONSUMPTION (ELECTRICITY, OIL, NATURAL GAS, ETC.)? ☐ YES NO YES 32. RELATIONSHIP TO LARGER PROJECT OR SERIES OR PROJECTS? □ NO **CERTIFICATION** I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements, and information presented are true and correct to the best of my knowledge and belief. APPLICANT NAME APPLICANT SIGNATURE DATE 4//4



CONDITIONAL USE PERMIT APPLICATION

REQUIREMENTS

TO THE APPLICANT:

Please provide the following materials for your application. A complete application package will expedite your public hearing before the Planning and Preservation Commission. A complete package consists of the following:

- 1. A completed Conditional Use Permit application (Page 5) signed by the applicant and property owner. If the applicant owns the property, please sign on both lines.
- 2. A complete site plan and, if required, building elevations. (Planning staff will determine whether elevations are necessary for a specific application.) Site plan specifications are attached.
- 3. A 500-foot radius map (one copy) and ownership list and mailing labels (two sets). A sample radius map is attached. The ownership list should be numbered and keyed to the map, so that referring to the ownership list can readily identify a parcel's owner. An example is attached. (Please note: Unless specified, zoning and land uses are not required as part of the radius map information.)
- 4. An environmental information sheet and checklist. This is required whether or not a project is exempt from the California Environmental Quality Act, as it provides information necessary for that determination.

5.	FILING FEES:	CONDITIONAL USE PERMIT APPLICATION	\$ 3968.82	
		ACTIVITY INFORMATION MANAGEMENT	\$ 396.88	
		SYSTEM (AIMS) SURCHARGE		
		ENVIRONMENTAL ASSESSMENT (A) DEPOSIT	\$ 2,400.00	
		PUBLIC NOTIFICATION	\$ 122.40	
		LEGAL PUBLISHING OF NOTICE (B)	\$ 600.00	
		GENEARAL PLAN UPDATE SURCHARGE	\$ 198.44	
		TOTAL FILING FEE	\$ 7,686.54	-

- a) The environmental assessment fee covers the preliminary assessment of your proposal. If your proposal is deemed to be categorically exempt, no further assessment is required. If a project is not categorically exempt and environmental documentation is required (e.g.- Negative Declaration, Mitigated Negative Declaration, or Environmental Impact Report), then the applicant is responsible for the additional cost. When applicable, proposals requiring environmental filing will require that a notice be filed with the Los Angeles County Clerk. The filing fee for recordation of environmental documents is \$75.
- b) For legal publishing of notices: If the cost to publish legal notices pertaining to the proposal exceeds \$600 then the applicant will be billed accordingly.

Please fill out application as completely as possible. Planning staff will assist with the application, when necessary. However, it is essential that the radius map and mailing list be complete when submitted. An incorrect map or mailing list nullifies the public hearing and any decision made by the Planning and Preservation Commission.

For questions and assistance, please call the Community Development Department at (818) 898-1227. Assistance is also available at the zoning counter during normal business hours.

RADIUS MAP

The intent of the State law requiring notification of property owners within 500 feet of a zoning application is to clearly inform those owners of a project that could affect them. The law requires that the latest updated County Assessor's rolls be utilized. Property owners or their representatives must prepare ownership lists or the applicant may buy this service from the several companies that specialize in such work.

A sample radius map is attached, as well as an affidavit of the person who prepares the mailing list. That person must complete and sign the affidavit. A valid ownership list consists of the following:

- 1. Consecutive parcel numbers keyed to the map, so that it may easily be determined whether a specific property's owner was legally notified;
- 2. The assessor's book, page and parcel number (APN) for each parcel;
- 3. The name and mailing address of each property owner;



RADIUS MAP (CONTINUED)

- 4. The applicant's name and mailing address, with any representatives or others the applicant wishes to notify, marked with an XX. These will be sent by certified mail; and,
- 5. Two (2) sets of gummed mailing labels and one copy must be submitted. The labels should look like this:

APN 2511-001-001 Duke Wayne Dev. Co	1	APN 2511-002-002 R. Phillippi	2
101 N First Street Hollywood, CA 91111	хх	121 N. Orange Grove Ave. San Fernando, CA 91340	

The first gummed label must have the applicant's name and address and the symbol XX in the lower right hand corner. This notice will be sent by certified mail. The applicant should also include all other parties - such as his architect or engineer - on the mailing list so that he/she may receive the notice as well.

The submitted radius map must indicate the subject property by graphic means. The parcels must be numbered consecutively (besides the legal description lot number and the APN) and keyed to the mailing list. The intent is to determine whether a specific property owner was notified of the public hearing.

SAMPLE RADIUS MAP (e) S (I) 10 to S HARDING ANYWHERE **EXANDER** (23) 14) 3 **3** (4) D532 532 (Z) " 00 × 6 (3) . 6 8 532 . 0 (F 46 **10** = (5) , ③ 524 (16) 500 RADIUS 500' RADIUS (i7) * **45** 0 20 3 518 10 (1) 2 z 3 (g) , ③ O (9) 29 508 (B) " (B) **8** " 2 1 508 (8) 23 42 **(B) 3** * 20 (1) 10 (7) 11 10 LIBRARY ST. 580' BADIUS 500 RADIUS 5 6 7 **13**2 (2) 0 26 (3) TRACT (25) 0 @ (20) **2** 0 (18) **63** (7) S ST 240 HARDING (13) **6** 39 4 (22) 1 (13) SUBJECT PROPERTY. 2508-101-007 508 Anywhere Street San Fernando, CA 91340 John Dmich 514 ...nywhere Street Toursende. -500 FEET RADIUS **NOT TO SCALE**



CERTIFIED PROPERTY OWNER'S LIST	
AFFIDAVIT	
STATE OF CALIFORNIA) COUNTY OF LOS ANGELES) ss CITY OF SAN FERNANDO)	
l,	, hereby certify that the attached list
available assessment roll of the County within t	whom all property is assessed as they appear on the latest the area described on the attached application and for a rior boundaries of the property described on the attached
I certify under penalty of perjury that the foregoin	g is true and correct.
(SIGNED)	
NAME	Josefina (mpo
ADDRESS	26073 Thora LN)
	Stevenson Ruch Ca 91381
PHONE	818 425-2683
A notary put identity of th is attached, a	dic or other officer completing this certificate verifies only the end of the document to which this certificate and not the truthfulness, accuracy, or validity of that document.
State of Caji County of	fornia fornia
of The	L. 2023 by JOSEFINA CAMPOS
97 satisfactor	exidence to be the person(\$) who appeared before me.
ALAN KAMINSKY	(Seal)
Notary Public - California Los Angeles County Commission # 2337754	

My Comm. Expires Dec 15, 2024

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ENCORPORATED AUG 31 1911

CONDITIONAL USE PERMIT APPLICATION

PROJECT INFO	ORN	IATION				TOTAL COL I ENTITLE AT LECATION
SITE ADDRESS(ES)	^ ^ ^	A) /E 0.4	0.40			
837 N MACL						
ASSESSORS PARCE 2516-033-00		MBER(S) "A	PN"			
LOT SIZE						
7,269					EXISTING BUILDING (S	QUARE FOOTAGE)
PROPOSED ADDITI	ON (S	OUARE FO	OTAGE)		TOTAL PARKING SPAC	ES (ON SITE OFF SITE)
10,441 SQ. F			J.7.1027		8	E3 (UN-311E/OFF-311E)
PROPOSED USE(S)					LANDSCAPING (SQUA	RE FOOTAGE)
MULTI-FAMI	LY				680	
PROJECT DESCRIPT	ION/	TYPE OF CO	ONDITIONA	L USE PERMIT REQU	JEST Include any additional in	nformation on separate sheet and attach to the
back of this applic			NT CO	MDIEV & (A)	2-CAR GARAGES	
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APPLICANT IN	FOR	RMATIO	V			
APPLICANT NAME	and the supplier put					PHONE NUMBER
EDGAR VIDA	۱L					818-732-5494
MAILING ADDRESS						от в под того по до по вышения на выполня на почения на
2900 DUART	ER	D SAN	MARIN	O, CA 91108		
FAX NUMBER				EMAIL ADDRESS		SIGNATURE
	Илентициото на			THE RESERVE OF THE PARTY OF THE	IEDESIGNSTUDIO.	
PROPERTY OV	September 1 September 1 September 1		MATION			
PROPERTY OWNER NAME JOSEFINA CAMPOS				PHONE NUMBER		
MAILING ADDRESS	~\IVII	-03				818-425-2883
26073 OHAR	A LI	N STEV	'ENSON	RANCH, CA	91381	
FAX NUMBER				EMAIL ADDRESS	GRANN MITTER AND THE PROPERTY OF THE PROPERTY	SIGNATURE
	n-Christian energy			josie@camp	osrealtors.com	and the second s
FOR OFFICE US	SE O	transmission services and a service of the service				
CUP APPLICATION AIMS SURCHARGE ENVIRONMENTAL	\$ \$ \$	3,891.20 389.12 204.00	ZONE		GENERAL PLAN AREA	FILE NUMBER
NOTIFICATION PUBLISHING	\$	120.00 600.00	DATE FILE	D		CUP NO.
GPU SURCHARGE TOTAL FEE	\$ \$	198.44 5,204.32	ACCEPTED	ВУ		AIMS NO.
COMMENTS						CROSS REFERENCE
						SPR NO.
						VAR NO.
						OTHER



INCORPORATED
AUG. N. 1911





ENVIRONMENTAL INFORMATION FORM (APPLICANT) GENERAL INFORMATION
1. NAME AND ADDRESS OF DEVELOPER OR PROJECT SPONSOR JOSEFINIA CAMPOS
2. ADDRESS OF PROJECT 837 N MACLAY AVE 91340
3. ASSESSOR'S BLOCK AND LOT NUMBER 2516-033-008
4. NAME, ADDRESS, AND TELEPHONE NUMBER OF PERSON TO BE CONTACTED CONCERNING THIS PROJECT EDGAR VIDAL
5. LIST AND DESCRIBE ANY OTHER RELATED PERMITS AND OTHER PUBLIC APPROVALS REQUIRED FOR THIS PROJECT, INCLUDING THOSE REQUIRED BY CITY, REGIONAL, AND FEDERAL AGENCIES
N/A
6. EXISTING ZONING DISTRICT
SP-5
7. PROPOSED USE OF SITE (PROJECT FOR WHICH THIS FORM IS FILLED) MULTI-FAMILY
WOLTH AVIILT
PROJECT DESCRIPTION
8. SITE SIZE
50 X 145
9. SQUARE FOOTAGE
7,269
10. NUMBER OF FLOORS OF CONSTRUCTION
3
11. AMOUNT OF OFF-STREET PARKING PROVIDED
8
12. PROPOSED SCHEDULING
13. ASSOCIATED PROJECTS
N/A
14. ANTICIPATED INCREMENTAL DEVELOPMENT
N/A
15. IF RESIDENTIAL, INDICATE THE NUMBER OF UNITS, SCHEDULE OF UNIT SIZES, RANGE OF SALE PRICES OR RENTS, AND TYPE OF HOUSEHOLD SIZE EXPECTED 4 UNITS // 1,261 SQ FT // 3BED-2BATH = \$3,000 / MONTH
 IF COMMERCIAL, INDICATE THE TYPE, WHETHER NEIGHBORHOOD, CITY OR REGIONALLY ORIENTED, SQUARE FOOTAGE OF SALES AREA, AND LOADING FACILITIES
N/A 17. IF INDUSTRIAL, INDICATE TYPE, ESTIMATED EMPLOYMENT PER SHIFT, AND LOADING FACILITIES
N/A



CONDITIONAL USE PERMIT APPLICATION

PROJECT DESCRIPTION (CONTINUED) 18. IF INSTITUTIONAL, INDICATE THE MAJOR FUNCTION	ON, ESTIMATED EMPLOYMENT PER SHIFT, ESTIMATED OCCUPA	NCV LGARA	
N/A AND COMMUNITY BENEFITS TO BE DERIVED FROM	A THE PROJECTS	NCY, LOADING	5 FACILITIES,
19. IF THE PROJECT INVOLVES A VARIANCE, CONDITIO APPLICATION IS REQUIRED CUP APPLICATION & SITE PLAN RE	NAL USE OR REZONING APPLICATION, STATE THIS AND INDICATION OF THE PROPERTY OF	TE CLEARLY W	VHY THE
and strong anore and simple, a puragraph fe	brief description of the property involved (#19) and the sore each item.		
20. ON A SEPARATE PAGE, DESCRIBE THE PROJECT SIT	E AS IT EXISTS BEFORE THE PROJECT, INCLUDING INFORMATION	ON ON TOPOG STRUCTURES	GRAPHY, SOIL ON THE SITE
21. ON A SEPARATE PAGE, DESCRIBE THE SURROUN CULTURAL, HISTORICAL OR SCENIC ASPECTS. INDIC	NDING PROPERTIES, INCLUDING INFORMATION ON PLANTS ATE THE TYPE OF LAND USE (RESIDENTIAL, COMMERCIAL, ETC. E, SET-BACK, REAR YARD, ETC.). ATTACH PHOTOGRAPHS OF TH	I INITENICITY	LS AND ANY OF LAND USE,
ENVIRONMENTAL IMPACT Are the following "yes" (attach additional sheets as necessary).	g items applicable to the project or its effects? Discuss of	all items bel	ow checked
	LANDS, BEACHES, OR HILLS, OR SUBSTANTIAL ALTERATION OF	☐ YES	☑ NO
23. CHANGE IN SCENIC VIEWS OR VISTAS FROM EXISTII	NG RESIDENTIAL AREA OR PUBLIC LANDS OR ROADS?	YES	☑ NO
24. CHANGE IN PATTERN, SCALE OR CHARACTER OF GENERAL AREA OF THE PROJECT?			№ NO
25. SIGNIFICANT AMOUNTS OF SOLID WASTE OR LITTER?			NO NO
26. CHANGE IN DUST, ASH, SMOKE, FUMES, OR ODORS IN VICINITY?			NO NO
EXISTING BINAINAGE PATTERINS!	DUND WATER QUALITY OR QUANTITY, OR ALTERATION OF	☐ YES	NO NO
28. SUBSTANTIAL CHANGE IN EXISTING NOISE OR VIBRA		☐ YES	NO NO
29. SITE ON FILLED LAND OR SLOPE OF 10 PERCENT OR		☐ YES	NO NO
EXPLOSIVES?	MATERIALS SUCH AS TOXIC SUBSTANCES, FLAMMABLES OR	☐ YES	№ NO
31. SUBSTANTIAL CHANGE IN DEMAND FOR MUNICIPAL		YES	NO NO
32. SUBSTANTIAL INCREASE IN FOSSIL FUEL CONSUMPTION (ELECTRICITY, OIL, NATURAL GAS, ETC.)?		YES	₽ NO
33. RELATIONSHIP TO LARGER PROJECT OR SERIES OR PROJECTS?		YES	NO NO
are true and correct to the best of my knowledge a	ements furnished above and in the attached exhibits he best of my ability, and that the facts, statements, and nd belief.	present the information	data and presented
APPLICANT NAME EDGAR VIDAL	APPLICANT SIGNATURE	DATE	
		PROTECTION TO THE PROTECTION OF THE PROT	
			Social control of the

SITE PREPARATION

INDEX OF LESS THAN 30.

- 1. THE METHOD OF CLEARING AND STRIPPING SHOULD BE VERIFY BY THE CONTRACTOR. 2. ALL SURFACE VEGETATION, DEBRIS AND STRUCTURES TO BE DEMOLISHED SHALL BE REMOVED FROM THE SITE PRIOR
- TO COMMENCING SITE PREPARATION, EXCAVATION OR PLACEMENT FILL
- 3. FILL FOR FLOOR SLABS AND FOUNDATION TRENCHES SHALL CONSIST OF NATIVE SOIL. 4. NATIVE SOIL PLACED FOR SLAB SUPPORT SHALL BE PLACED IN LAYERS NOT EXCEEDING 4" WHEN COMPACTED. 5. IMPORT FOR SLAB SUPPORT SHALL CONSIST OF SAND, GRAVELY SAND OR SILTY SAND AND SHALL HAVE A EXPANSION

SITE NOTES

1. ALL WORK SHALL COMPLY WITH THE 2022 CALIFORNIA BUILDING CODE, TITLE 24 AND ALL APPLICABLE CODES, REGULATIONS OR REQUIREMENTS OF THE CITY OR COUNTY HAVING JURISDICTION FOR THE PLACE OF THE BUILDING. 2. PERMITS SHALL BE OBTAINED FOR FENCES, POOLS, SPA OR RETAINING WALLS. 3. FINAL GRADING WORK SHALL COMPLY WITH 2019 CBC AND SHALL PROVIDE POSITIVE DRAINAGE FROM ALL PARTS OF THE BUILDING AND SHALL NOT DRAIN ONTO ADJACENT PROPERTIES.

4. ALL SURFACES SHALL BE SLOPED TO DRAIN WATER AWAY FROM THE BUILDING. 5. AT TIME OF PERMIT ISSUANCE, THE CONTRACTOR SHALL SHOW THEIR VALID "WORKERS COMPENSATION" INSURANCE

6. ALL WORK SHALL CONFORM TO ALL REQUIREMENTS OF THE INFORMATION INDICATED ON THESE PLANS. 7. BUILDING ADDRESS NUMBERS SHALL BE PROVIDED ON THE FRONT OF ALL BUILDINGS AND SHALL BE VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY, SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND.

SPECIAL HAZARDS

1. ROOF OBSTRUCTIONS SUCH AS TELEVISION ANTENNA, GUY WIRES, SOLAR PANELS, RAZOR RIBBON FENCE, CABLE OR OTHER OBSTRUCTIONS SHALL NOT PREVENT FIRE DEPARTMENT ACCESS OR EGRESS IN THE EVENT OF FIRE. 2. PROVIDE COLLISION BARRIERS ADEQUATE TO PROTECT CONTROL METERS, REGULATORS AND PIPING FOR HA7ARDOUS MATERIALS THAT ARE EXPOSED TO VEHICULAR DAMAGE LAMC 57.12.02.

3. THE INDOOR STORAGE OF COMBUSTIBLE MATERIALS SHALL BE REGULATED IN RELATION TO ARRANGEMENT, LOCATION, SIZE OF AREAS, HEIGHT SEPARATIONS AND HOUSEKEEPING.

MISCELLANEOUS

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE JOB SITE BEFORE STARTING ANY WORK AND BE RESPONSIBLE FOR THE SAME, THE ARCHITECT SHALL BE NOTIFY OF ANY DISCREPANCIES WHICH MAY EXIST. CONTRACTOR SHALL NOT SCALE ANY DRAWINGS. 2. THE SPECIFICATIONS ARE OF A GENERAL NATURE AND MAY REFER TO WORK WHICH IS NOT REQUIRED. THEY ARE NOT

INTENDED TO SUPERSEDE ANY CONTRACTUAL AGREEMENT BETWEEN THE OWNER AND THE CONTRACTOR. 3. THE CONTRACTOR SHALL PROVIDE SUPERVISION TO PROPERLY EXECUTE THE PROJECT AND TO PROVIDE

ASSURANCE THE WORK IS IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. 4. ALL NECESSARY PERMITS SHALL BE SECURED BY THE CONTRACTOR PRIOR TO START ANY CONSTRUCTION.

BUILDING CODE NOTES

A. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VAULTS, PUMPS, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES - WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES. B. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE

OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170, 158) (INCLUDES COMMERCIAL ADDITIONS AND TI WORK OVER \$10,000) SEPARATE PLUMBING PERMIT IS REQUIRED.

C. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3)

D. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLES SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4) E. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWER HEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT

LESS THAN 6 FEET AOBVE THE FLOOR (R307.2) F. PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.

G. PROVIDE 72 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE. (1209.2.3 & 1209.2.4)

H. UNIT SKYLIGHTS SHALL BE LABELED BY AN LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING (RESEARCH REPORT NOT REQUIRED), (R308.6.9)

I. WATER HEATER MUST BE STRAPPED TO WALL (SEC. 507.3, UPC) M. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND

DOLLARS (\$1,000). (R314.6.2) N.A.WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTIONS R315.1. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2)

N.B.EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1) O. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE

FINISH MATERIAL POLLUTANT CONTROL

A. ADHESIVE, SEALANTS AND CAULKS SHALL MEET OR EXCEED THE STANDARDS OUTLINED IN SECTION 4.504.2.1 AND COMPLY WITH THE VOC LIMITS IN TABLES 4.504.1 AND 4.504.2 AS APPLICABLE. B. PAINTS AND COATINGS SHALL MEET OR EXCEED THE STANDARDS OUTLINED IN SECTION 4.504.2.2. AND COMPLY WITH THE VOC LIMITS IN TABLE 4.504.3.

C. AEROSOL PAINTS AND COATINGS SHALL MEET OR EXCEED THE STANDARDS OUTLINED IN SECTION 4.504.2.3 D. ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF HE FOLLOWING:

I. CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM OR II. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH STANDARD METHODS FOR THE TESTING OF VOC EMISSIONS (SPEC

III. NSF/ANSI 140 AT THE GOLD LEVEL OR

IV. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE GOLD E. ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE GREEN LABEL PROGRAM. CARPET ADHESIVES SHALL NOT EXCEED A VOC LIMIT OF 50 G/L. (4.504.3.1,

F. A MINIMUM OF 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE

I. PRODUCTS CERTIFIED AS A LOW-EMITTING MATERIAL IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE OR II. PRODUCTS CERTIFIED UNDER UL GREEN GUARD GOLD (FORMERLY THE GREEN GUARD CHILDREN & SCHOOLS

PROGRAM), OR III. CERTIFICATION UNDER THE RFCI FLOORSCORE PROGRAM OR

IV. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH STANDARD METHOD FOR THE TESTING OF VOC EMISSIONS G. COMPOSITE WOOD PRODUCTS (HARDWOOD PLYWOOD, PARTICLE BOARD, AND MDF) INSTALLED ON THE INTERIOR OR EXTERIOR OF HE BUILDING SHALL MEET OR EXCEED THE STANDARDS OUTLINED IN TABLE 4.504.5. VERIFICATION OF

MATERIAL CONSERVATION & RESOURCE EFFICIENCY

COMPLIANCE WITH THESE SECTIONS MUST BE PROVIDED AT HE TIME OF INSPECTION.

ANNUAL SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHODS.

ENVIRONMENTAL QUALITY

A. AT THE TIME OF ROUGH INSTALLATION, OR DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING, AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL, OR OTHER ACCEPTABLE METHODS TO REDUCE THE AMOUNT OF WATER, DUST, AND DEBRIS WHICH MAY ENTER THE SYSTEM.

B. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. INSULATION PRODUCTS WHICH ARE VISIBLE WET OR HAVE HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES.

C. ALL MECHANICAL EXHAUST FANS IN ROOMS WITH A BATHTUB OR SHOWER SHALL COMPLY WITH THE FOLLOWING: - FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMITE OUTSIDE THE BUILDING. - FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY

< 50% TO A MAXIMUM OF 80% UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM.

INTERIOR

1. PROVIDE 72 INCH HIGH NONABSORBENT WALL ADJACENT TO SHOWER, AND APPROVED SHATTER RESISTANT

MATERIALS FOR SHOWER. 2. ONLY LOW CONSUMPTION WATER CLOSETS SHALL BE PROVIDED. "PROVIDE ULTRA FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION." 3. ENCLOSED USABLE SPACE UNDER INTERIOR STAIRWAYS REQUIRES 1-HOUR FIRE RESISTIVE CONSTRUCTION ON ENCLOSED SIDE.

4. EXIT DOORWAYS SHALL BE NOT LESS THAN 36" X 6'-8" (WIDTH AND HEIGHT). PROJECTIONS INCLUDING PANIC

HARDWARE, SHALL NOT REDUCE THE OPENING TO LESS THAN 32" CLEAR WIDTH. 5. PROVIDE 32" WIDE DOORS TO ALL ACCESSIBLE ROOMS WITHIN A DWELLING UNIT.

6. GLASS SKYLIGHTS SHALL COMPLY WITH 91.2409. PLASTIC SKYLIGHTS WITH 91.1006.12 7. PROVIDE WINDOW WELLS (WITH FIXED LADDER) FOR EGRESS WINDOWS BELOW GRADE.

8. WATER HEATER IS REQUIRED TO BE ANCHORED. "WATER HEATER MUST BE STRAPPED TO WALL."

9. PROVIDE ACCESS TO THE BOTTOM OF COURT FOR CLEANING PURPOSES.

10. COURT MORE THAN TWO STORIES IN HEIGHT SHALL BE PROVIDED WITH A HORIZONTAL AIR INTAKE WITH A MINIMUM AREA OF 10 SQ.FT.

- 1. WALL COVERING SHALL BE CEMENT PLASTER, TILE OR APPROVED EQ. WITHIN 72" ABOVE DRAIN.
- 2. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT MATERIALS: 3. GLASS ENCLOSURE DOORS MUST BE LABELED CATEGORY II SWING DOOR OUTWARD.
- 4. NET AREA OF SHOWER RECEPTOR NOT LESS THAN 1024 " OR 30" DIA CIR 510, 511, 5406, 5407, UBC STD. T-54 & D.C. 909. 5. BATHS WITHOUT OPENABLE WINDOWS SHALL BE PROVIDED WITH VENT FAN CAPABLE OF MINIMUM 5 AIR CHANGES
- 6. TOILET COMPARTMENT MINIMUM 30" WIDE WITH 24" CIR. IN FRONT OF TOILET. 7. PROVIDE MINIMUM 12" X 12" ACCESS AT TUB TRAP EXCEPT WHERE CONCERNED FIXED CONNECTIONS ARE OF BRASS
- 8. PROVIDE MECHANICAL VENTILATION CONNECTED DIRECTLY TO THE OUTSIDE CAPABLE OF PROVIDING FIVE A/P
- CHANGES PER HOUR IN BATHROOMS, WATER CLOSET COMPARTMENTS, LAUNDRY ROOMS, AND SIMILAR ROOMS IF REQUIRED OPENABLE WINDOWS ARE NOT PROVIDED

APPLICABLE CODES

- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA BUILDING CODE · 2022 CALIFORNIA PLUMBING CODE
- · 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- · 2022 CALIFORNIA ENERGY CODE. (TITLE 24)

· 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

ABBREVIATIONS

A/C	AIR CONDITIONER	MAS.	MASONRY
A.F.F.	ABOVE FINISHED FLOOR	MTL.	METAL
A.F.G.	ABOVE FINISHED GRADE	MIN.	MINIMUM
ВОТ.	воттом	N	NEW
B.O.F.	BOTTOM OF FOOTING	N.T.S.	NOT TO SCALE
C.C.	CENTER TO CENTER	O.C.	ON CENTER
CL.	CLOSET	O.D.	OUTSIDE DIAMETER
CLG.	CEILING	OPNG.	OPENING / ROUGH OPENING
CMU	CONCRETE MASONRY UNIT	P.C.C.	PORTLAND CEMENT
DEMO	DEMOLISH		CONCRETE
D.S.	DOWNSPOUT	PL.	PLASTER
DIA.	DIAMETER	P.L.	PROPERTY LINE
DIM.	DIMENSION	PLYWD.	PLYWOOD
DN.	DOWN	PTD.	PAINTED
D.P.	DAMP PROOFING	R.C.	REINFORCED CONCRETE
E	EXISTING	R.D.	ROOF DRAIN
E.F.	EXHAUST FAN	R.D.L.	ROOF DRAIN LEADER
EXC.	EXCAVATE	R.O.	ROUGH OPENING
F.A.U.	FORCED AIR UNIT	R.O.W.	RIGHT OF WAY
F.D.	FLOOR DRAIN	REINF.	REINFORCED
FIN.	FINISH	SAN.	SANITARY
F.F.	FINISH FLOOR	S.C.	SOLID CORE
GALV.	GALVANIZED	S.D.	SMOKE DETECTOR
G.C.	GENERAL CONTRACTOR	SHT.	SHEET
G.F.C.I.	GROUND FAULT CIRCUIT	SHT'G.	SHEATHING
	INTERUPT	SQ. FT.	SQUARE FEET
G.F.I.	GROUND FAULT INTERRUPT	SQ. IN.	SQUARE INCHES
G.T.	GLAZED TILE	STD.	STANDARD
GYP.	GYPSUM	T&B	TOP & BOTTOM
H.M.	HOLLOW MATERIAL / CORE	T.O.	TOP OF
H.V.A.C.	HEATING, VENTILATION &	TYP.	TYPICAL
	AIR CONDITIONING	U.N.O.	UNLESS NOTED OTHERWISE
H.W.	HOT WATER	V.B.	VAPOR BARRIER
IN.	INCH	W.C.	TOILET (WATER CLOSET)
INSUL.	INSULATION	WD.	WOOD
INT.	INTERIOR	WDW.	WINDOW
JST.	JOIST	W.I.C.	WALK-IN CLOSET
LFT.	LINEAR FEET	WP.	WEATHERPROOF
LTG.	LIGHTING	WS.	WEATHER-STRIPPING
L.V.L.	LAMINATED VENEER	W.S.	WATER STOP
	LUMBER	W/O	WITHOUT

VICINITY MAP



	SYMBOL LEGEND
SECTION MARKER	24 A5.1 A5.1
ELEVATION MARKER	24 A4.1
DETAIL MARKER	24 A7.1
DOOR MARKER	8
WINDOW MARKER	⟨A⟩

CLIENT

CLIENT			
NAME	JOSEFINA CAMPOS		
ARCH	HITECTURAL DESIGNER		
NAME	DREAM DESIGN BUILD		
ADDRESS	1226 W. NINTH ST. UPLAND, CA 91786		
PHONE	310.487.1613		
E-MAIL	HELLO@DREAMDESIGN.BUILD		
WEBSITE	DREAMDESIGN.BUILD		

A0.0	PROJECT INFO
A1.1	EXISTING & PROPOSED SITE PLANS
A2.1	DUPLEX #A 1ST & 2ND FLOOR PLANS
A2.2	DUPLEX #A 3RD FLOOR & ROOF PLAN
A3.1	DUPLEX #B 1ST FLOOR PLANS
A3.2	DUPLEX #B 2ND FLOOR PLANS
A3.3	DUPLEX #B 3RD FLOOR PLANS
A3.4	DUPLEX #B ROOF PLAN
A4.1	DUPLEX #A ELEVATIONS
A4.2	DUPLEX #B ELEVATIONS
A4.2	SITE ELEVATION
A5.1	PROPOSED DUPLEX #A SECTION CUTS
A5.2	PROPOSED DUPLEX #B SECTION CUTS
L-1	PLANTING PLAN
L-2	IRRIGATION PLAN
L-3	IRRIGATION DETAILS

	SYMBOL LEGEND	FLOOR AREA
ECTION MARKER	24 A5.1 A5.1	COMMON/PRIV
EVATION MARKER	24 A4.1	UNIT #1
ETAIL MARKER	24 A7.1	UNIT #2
OOOR MARKER	8	UNIT #3
NDOW MARKER	⟨A⟩	UNIT #4

СОМ	JOSEFINA CAMPOS	NAME
	HITECTURAL DESIGNER	ARCI
PRIN	DREAM DESIGN BUILD	NAME
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SHEET INDEX

A0.0	PROJECT INFO	
A1.1	EXISTING & PROPOSED SITE PLANS	
A2.1	DUPLEX #A 1ST & 2ND FLOOR PLANS	
A2.2	DUPLEX #A 3RD FLOOR & ROOF PLAN	
A3.1	DUPLEX #B 1ST FLOOR PLANS	
A3.2	DUPLEX #B 2ND FLOOR PLANS	
A3.3	DUPLEX #B 3RD FLOOR PLANS	
A3.4	DUPLEX #B ROOF PLAN	
A4.1	DUPLEX #A ELEVATIONS	
A4.2	DUPLEX #B ELEVATIONS	
A4.2	SITE ELEVATION	
A5.1	PROPOSED DUPLEX #A SECTION CUTS	
A5.2	PROPOSED DUPLEX #B SECTION CUTS	
L-1	PLANTING PLAN	
L-2	IRRIGATION PLAN	
L-3	IRRIGATION DETAILS	

	,	
SETBACKS	FRONT SETBACK: REAR SETBACK: SIDE SETBACK:	15 FT.
PROPOSED FLOOR AREA	FIRST FLOOR (GARAGE SECOND FLOOR: THIRD FLOOR: TOTAL LIVING AREA:	E): 1,367 SQ. FT. 1,809 SQ. FT. 1,795 SQ. FT 3,604 SQ. FT.
COMMON/PRIV	ATE OPEN SPACE RE	QUIREMENTS
UNIT #1	FLOOR AREA (2ND FLO GARAGE: 391 SQ. FT. BALCONY (PRIVATE SP.	,
UNIT #2	FLOOR AREA (3RD FLO GARAGE: 194 SQ. FT. BALCONY (PRIVATE SP.	,
UNIT #3	FLOOR AREA (2RD FLO	OR): 1,026 SQ. FT.

COMMON/PRIVATE OPEN SPACE REQUIREMENTS

TOTAL NET SITE: 7,250 SQ. FT.

7,250 SQ. FT. / 1,200 SF = 6 UNITS

TOTAL UNITS ALLOWED:

TOTAL UNITS PROPOSED:

50 FT. X 145 FT. = 7,250 SQ. FT.

LOT AREA DENSITY CALC: 7,250 SQ. FT.

SP-5 DENSITY: 1 PER 1,200 SQ. FT. OF AREA

145 FT

7,250 SQ. FT.

ZONING:

LOT WIDTH:

LOT DEPTH:

TOTAL LOT SIZE:

MACLAY DISTRICT SP-5

6 UNITS

4 UNITS

ZONING

DENSITY

BUILDING AREA

COMMON/PRIV	ATE OPEN SPACE REQUIREMENTS
COMMON OPEN SPACE	150 SQ. FT. PER UNIT X 4 UNITS = 600 SQ. F ⁻ 600 SQ. FT. COMMON SPACE REQ'D
	677 SQ. FT. COMMON SPACE PROVIDED
PRIVATE OPEN SPACE	60 SQ. FT. PER UNIT REQ'D

GARAGE: 391 SQ. FT.

GARAGE: 391 SQ. FT.

BALCONY (PRIVATE SPACE): 63 SQ. FT..

FLOOR AREA (2RD FLOOR): 1,026 SQ. FT.

BALCONY (PRIVATE SPACE): 63 SQ. FT..

UNIT #1: 62 SQ. FT. BALCONY PROVIDED

UNIT #2: 62 SQ. FT. BALCONY PROVIDED

UNIT #3: 63 SQ. FT. BALCONY PROVIDED

UNIT #4: 63 SQ. FT. BALCONY PROVIDED

PARKING REQUIREMENTS			
PARKING REQ'D	3 UNITS X 2 SPACES = 6 SPACES REQ'D 1 UNITS X 1 SPACES = 1 SPACES REQ'D GUEST PARKING = 1 SPACES REQ'D TOTAL = 8 SPACES REQ'D		
PARKING SUMMARY	GUEST PARKING 1 SPACES STANDARD SPACES 7 SPACES PARKING SPACES PROVIDED 8 SPACES 8 SPACES PROVIDED = 8 SPACES REQ'D		

LANDSCAPE REQUIREMENTS

LANDSCAPE REQ'D	

20 FT. X 50 FT. = 1,000 SQ. FT. X 50% = 500 SQ. FT. REQ'D

PROPOSED LANDSCAPE: 646 SQ. FT. 646 SQ. FT. > 500 SQ. FT.

HEIGHT AND AREA LIMITATIONS:

MAX. BUILDING HEIGHT: 34'-2" FT MAX. STORIES FULLY SPRINKLERED: 3 STORIES FULLY SPRINKLERED FLOOR AREA: 5,044 SQ. FT.

UPLAND, CA 91786

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DREAMDESIGN.BUILD

1226 W. NINTH ST.

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OWNER:

JOSEFINA CAMPOS

ADDRESS:

837 MACLAY AVE. SAN FERNANDO, CA 91340

SCOPE OF WORK:

NEW 4 UNIT DEVELOPMENT

PLANS PREPARED BY:

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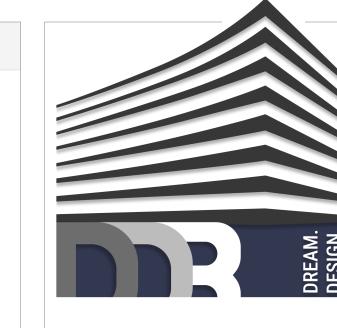
AND SPECIFIC CONSENT FROM DDB, LLC.

DATE:	2/1/24
SCALE:	AS SHOWN
DRAWN:	E. VIDAL
CHECKED:	
REVISION:	

PROJECT INFO

REVISION:

LINE LEGEND				SYMBOL LEGEND	
	EXISTING	PROJECT IMPROVEMENTS		EXISTING	PROJECT IMPROVEMENTS
PROPERTY LINE	 P		6' HIGH 8" BLOCK WALL		
WATER LINE	— — W— —	w	HEAT PUMP		
GAS LINE	——G——	——- G ———	A/C UNIT W/ 220V DISCONNECT BOX		
SEWER LINE	——S——	——s—	TANKLESS WATER HEATER	0	0
DRAIN LINE	——D——	——D——	200 AMP METER		
FENCE	_ × ×	- × ×	DUAL GANG 200 AMP PANEL		
2% MINIMUM SLOPE	¥	4	GAS METER		(0)
SETBACKS			CITY LIGHT POLE	\bigcirc	



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Edgar Vidal

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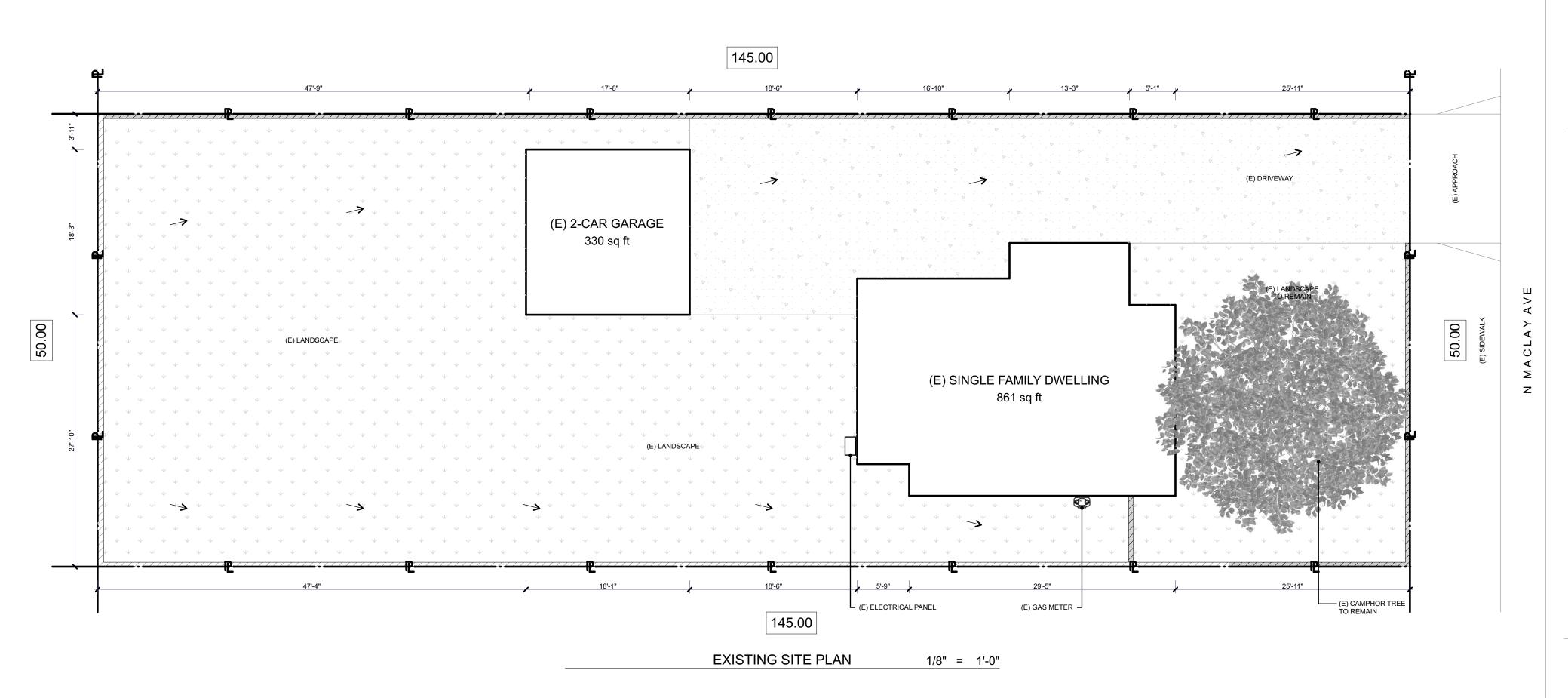
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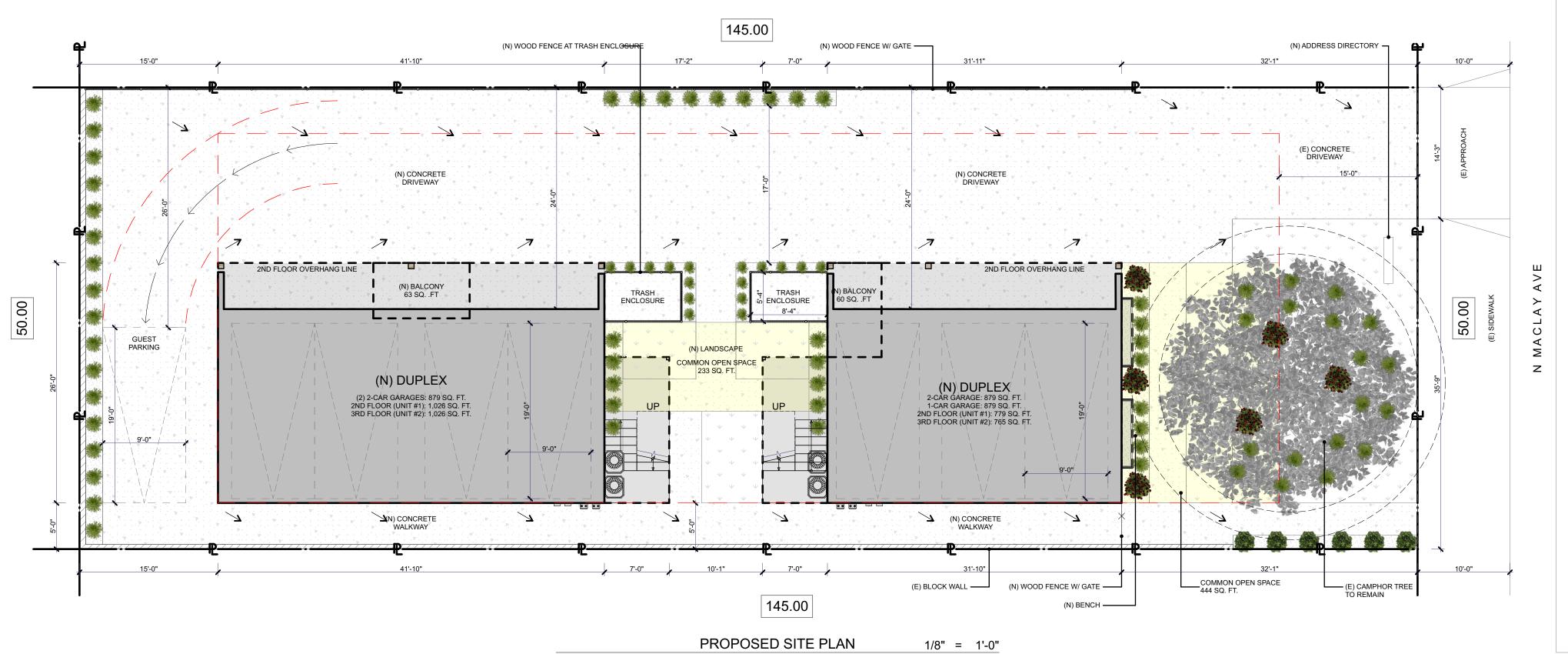
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REVISION:	

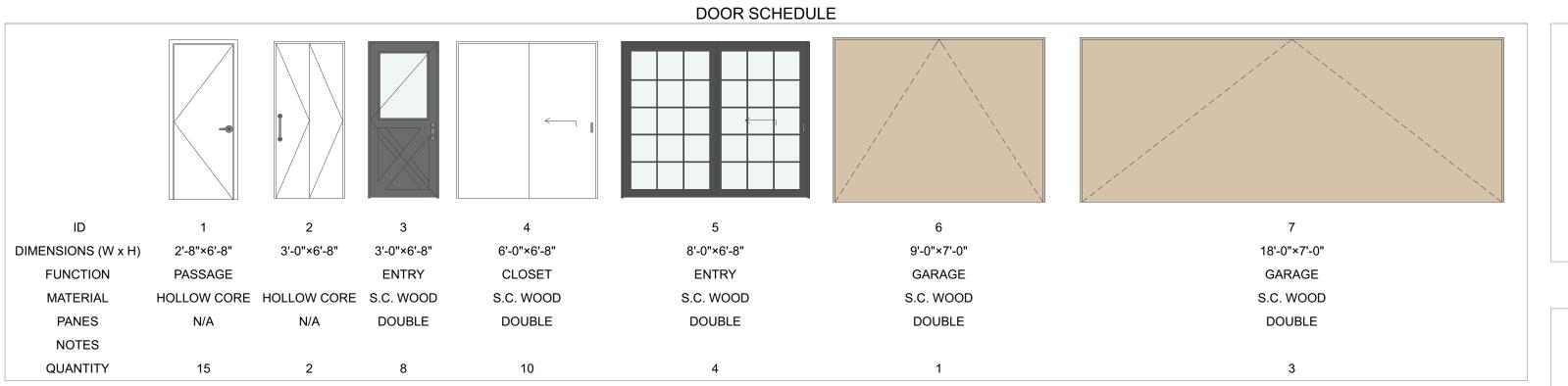
2/1/24

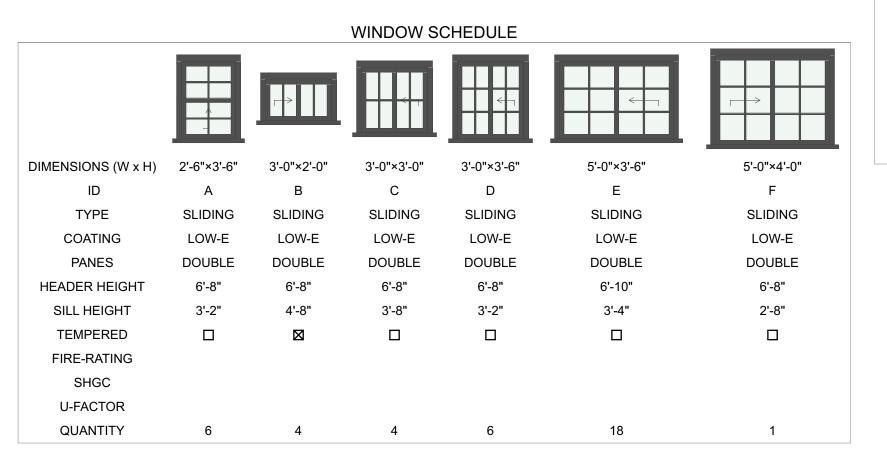
EXISTING & PROPOSED SITE PLANS

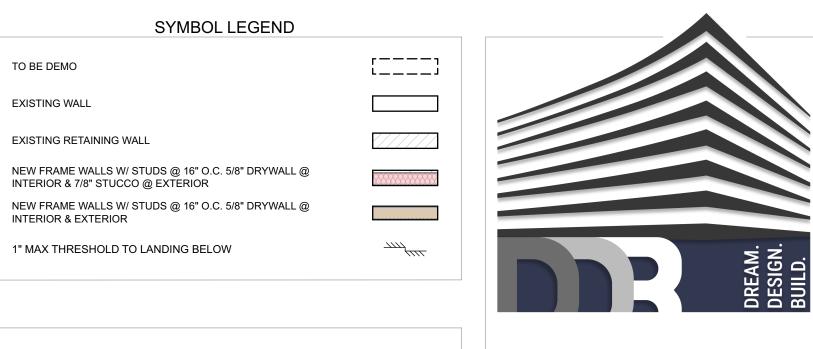
A1.1











GLASS:

1. TO COMPLY WITH LOS ANGELES SECURITY ORDINANCE. ANY GLASS IN DOORS OR IN SIDELIGHT(S) WITHIN 24" OF EITHER DOOR EDGE PER 2022 CBC, SEC. 2406.4(6) OR WITHIN 40" OF ANY LOCKING MECHANISM (PER LOS ANGELES ORDINANCE) SHALL BE FULLY TEMPERED.

2. THE MANUFACTURED WINDOWS SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONAL FENESTRATION RATING COUNCIL (NFRC) AND SHOWING COMPLIANCE WITH ENERGY CALCULATIONS.

U-FACTOR: .00 SHGC: .00

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1226 W. NINTH ST.

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SCOPE OF WORK:

NEW 4 UNIT DEVELOPMENT

PLANS PREPARED BY:

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EDGAR VIDAL

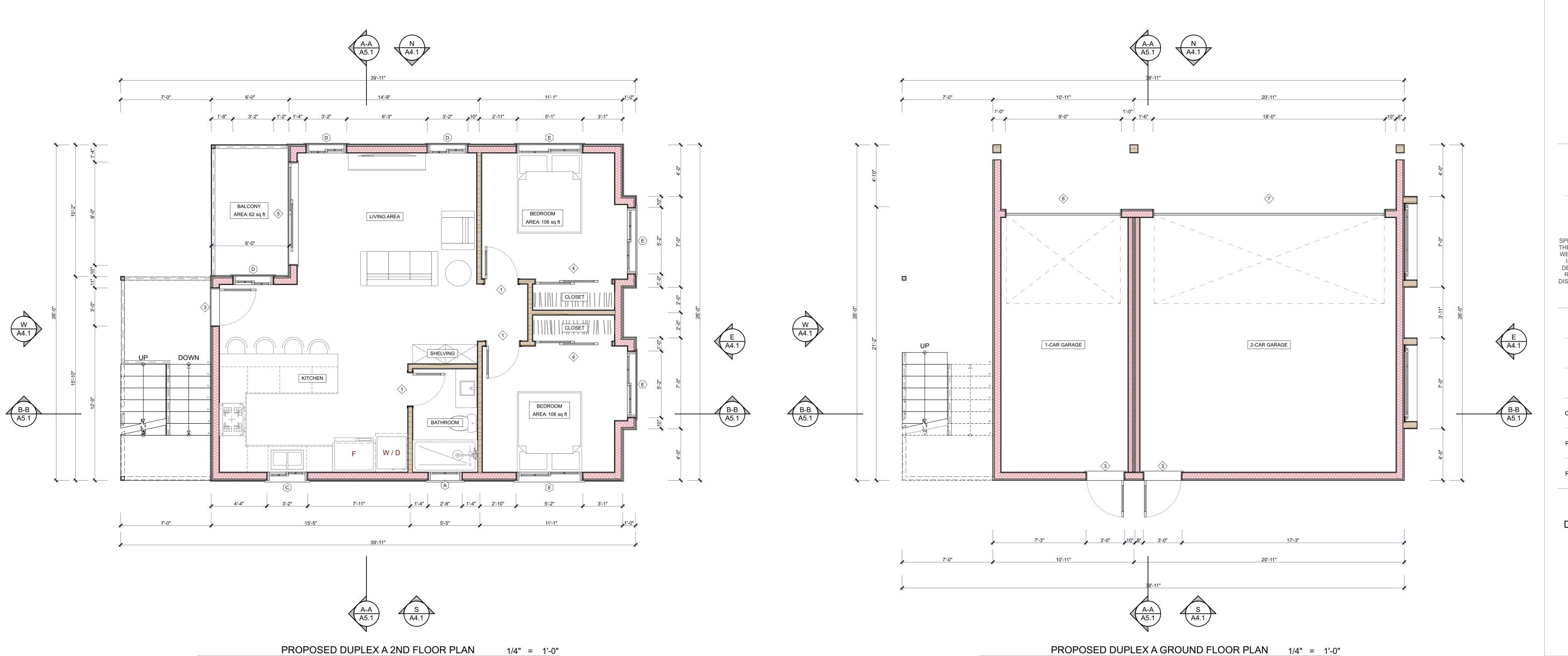
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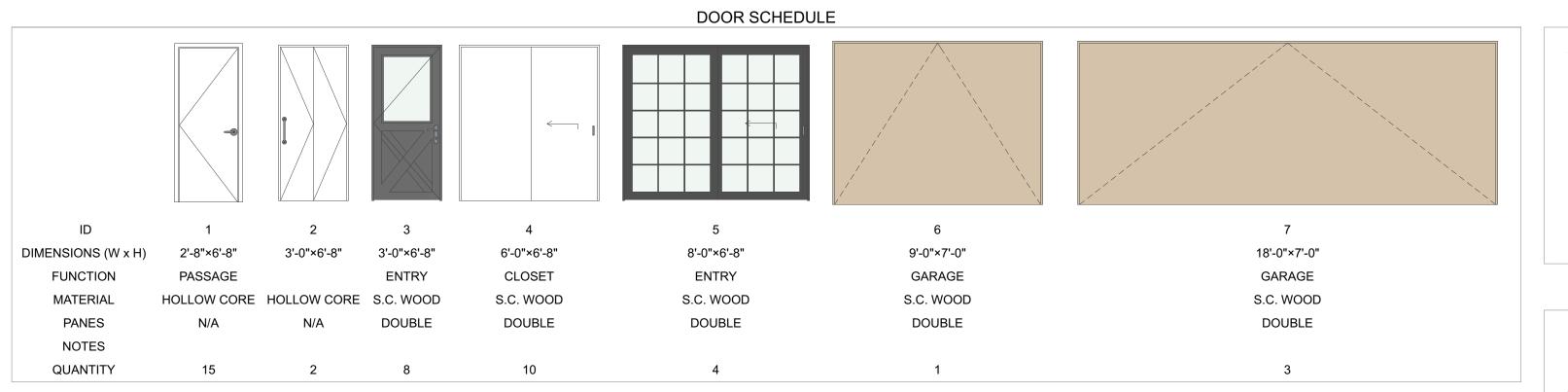
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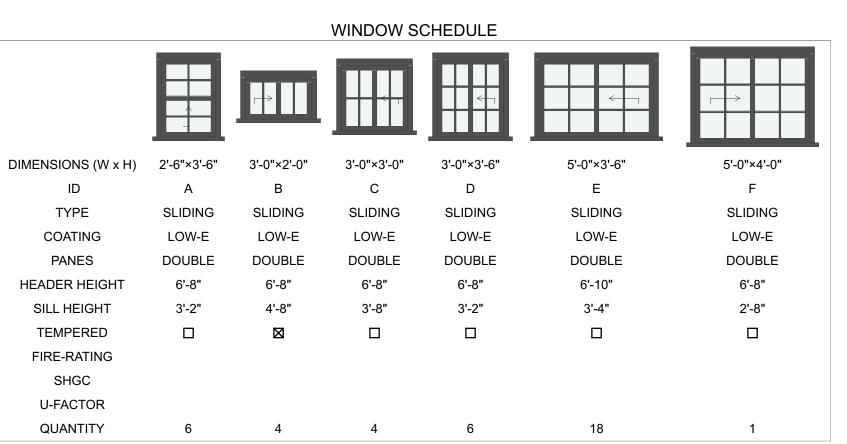
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REVISION:	

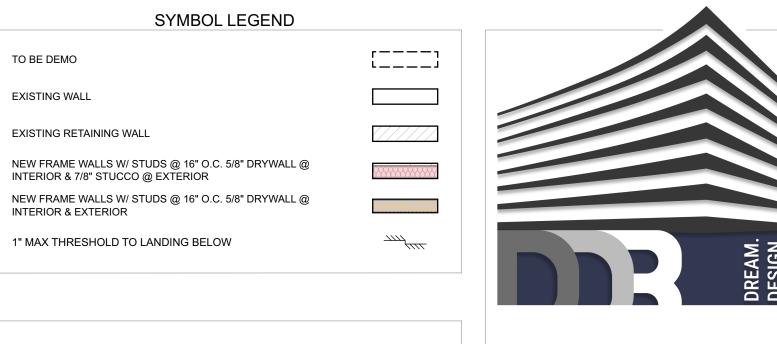
DUPLEX #A 1ST & 2ND FLOOR PLANS

A2.1









1. TO COMPLY WITH LOS ANGELES SECURITY ORDINANCE. ANY GLASS IN DOORS OR IN SIDELIGHT(S) WITHIN 24" OF EITHER DOOR EDGE PER 2022 CBC, SEC. 2406.4(6) OR WITHIN 40" OF ANY LOCKING MECHANISM (PER LOS ANGELES ORDINANCE) SHALL BE FULLY TEMPERED.

2. THE MANUFACTURED WINDOWS SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONAL FENESTRATION RATING COUNCIL (NFRC) AND SHOWING COMPLIANCE WITH ENERGY CALCULATIONS.

U-FACTOR: .00 SHGC: .00

KEYNOTES

NEW ROOF: LANDMARK SOLARIS GOLD - CHARCOAL GRAY 4/12 MAX CRRC# 0668-0079

OWNER:

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SCOPE OF WORK:

NEW 4 UNIT DEVELOPMENT

PLANS PREPARED BY:

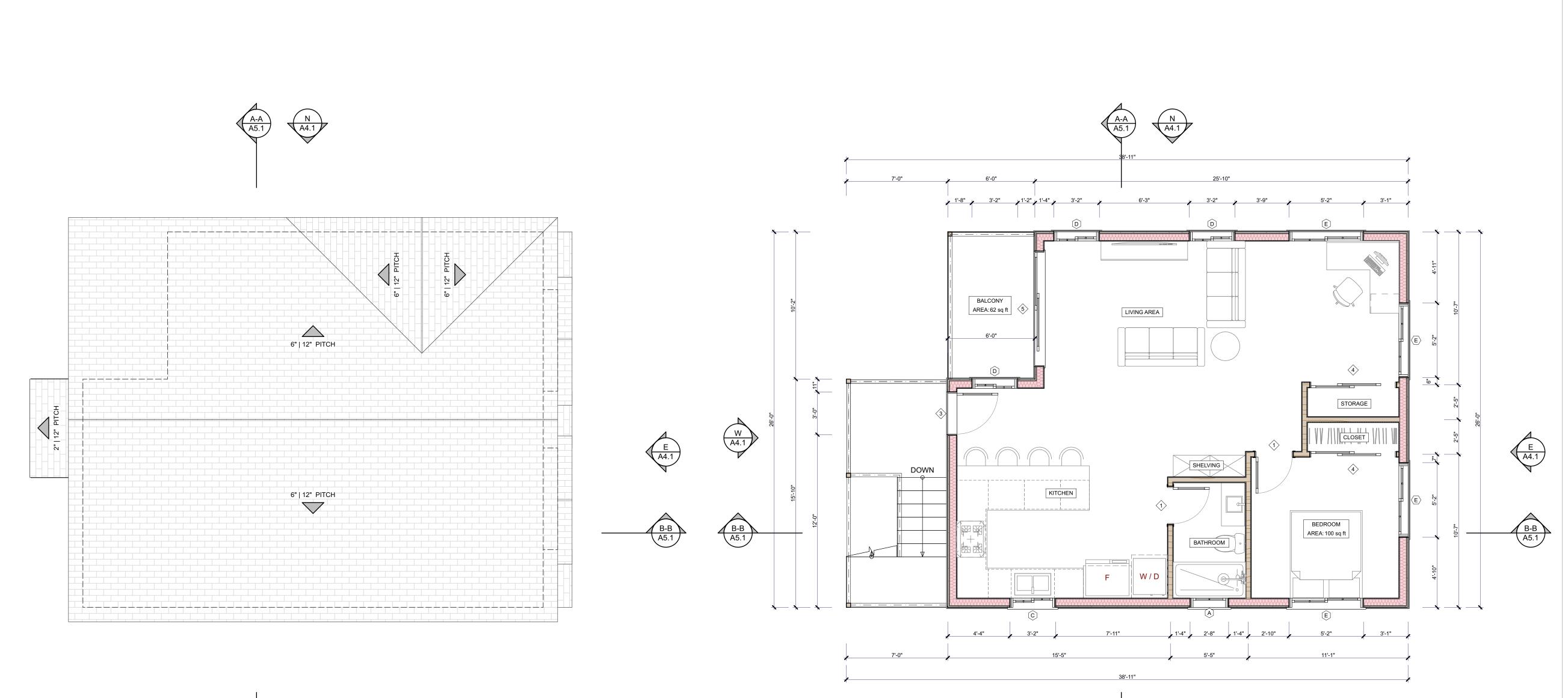
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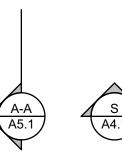
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SCALE:	AS SHOWN
DRAWN:	E. VIDAL
CHECKED:	
REVISION:	
REVISION:	

DUPLEX #A 3RD FLOOR & ROOF PLAN

A2.2



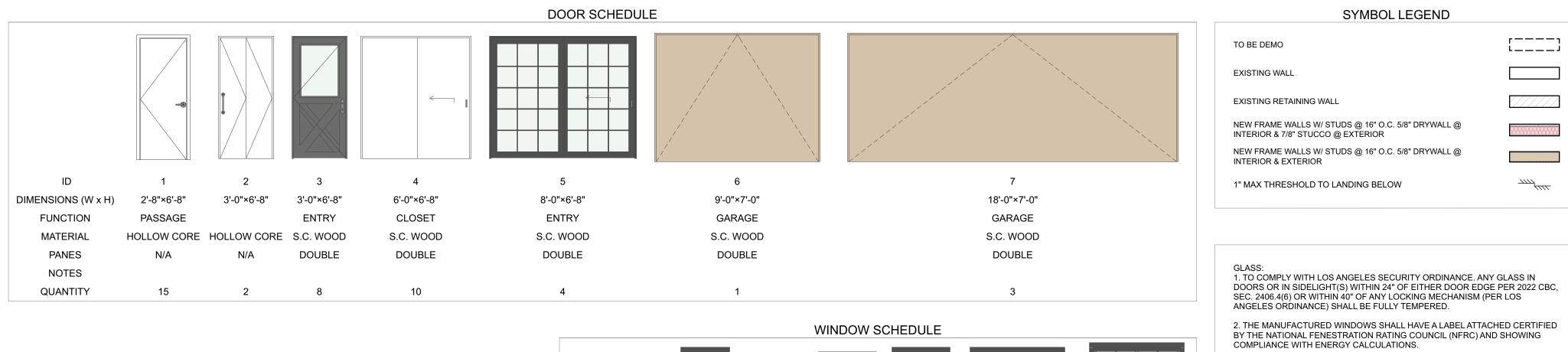


DUPLEX A ROOF PLAN

1/4" = 1'-0"

PROPOSED DUPLEX A 3RD FLOOR PLAN

1/4" = 1'-0"



			WINDOW S	CHEDULE		
DIMENSIONS (W x H)	2'-6"×3'-6"	3'-0"×2'-0"	3'-0"×3'-0"	3'-0"×3'-6"	5'-0"×3'-6"	5'-0"×4'-0"
ID	Α	В	С	D	Е	F
TYPE	SLIDING	SLIDING	SLIDING	SLIDING	SLIDING	SLIDING
COATING	LOW-E	LOW-E	LOW-E	LOW-E	LOW-E	LOW-E
PANES	DOUBLE	DOUBLE	DOUBLE	DOUBLE	DOUBLE	DOUBLE
HEADER HEIGHT	6'-8"	6'-8"	6'-8"	6'-8"	6'-10"	6'-8"
SILL HEIGHT	3'-2"	4'-8"	3'-8"	3'-2"	3'-4"	2'-8"
TEMPERED		\boxtimes				
FIRE-RATING						
SHGC						
U-FACTOR						
QUANTITY	6	4	4	6	18	1



U-FACTOR: .00 SHGC: .00

1226 W. NINTH ST. UPLAND, CA 91786

310.487.1613

HELLO@DREAMDESIGN.BUILD DREAMDESIGN.BUILD

OWNER:

JOSEFINA CAMPOS

ADDRESS:

837 MACLAY AVE. SAN FERNANDO, CA 91340

SCOPE OF WORK:

NEW 4 UNIT DEVELOPMENT

PLANS PREPARED BY:

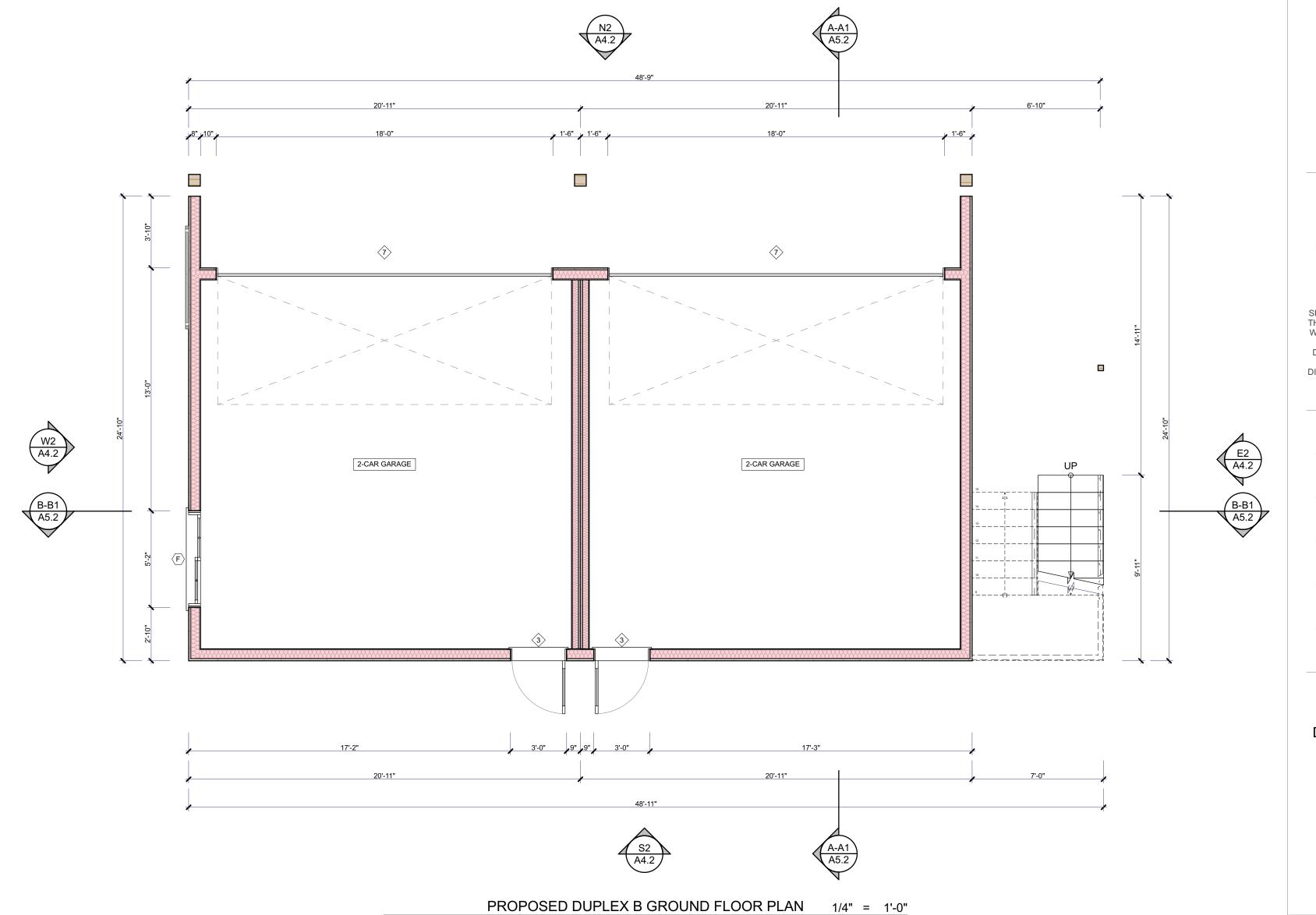
RESTRICTIVE NOTICE:

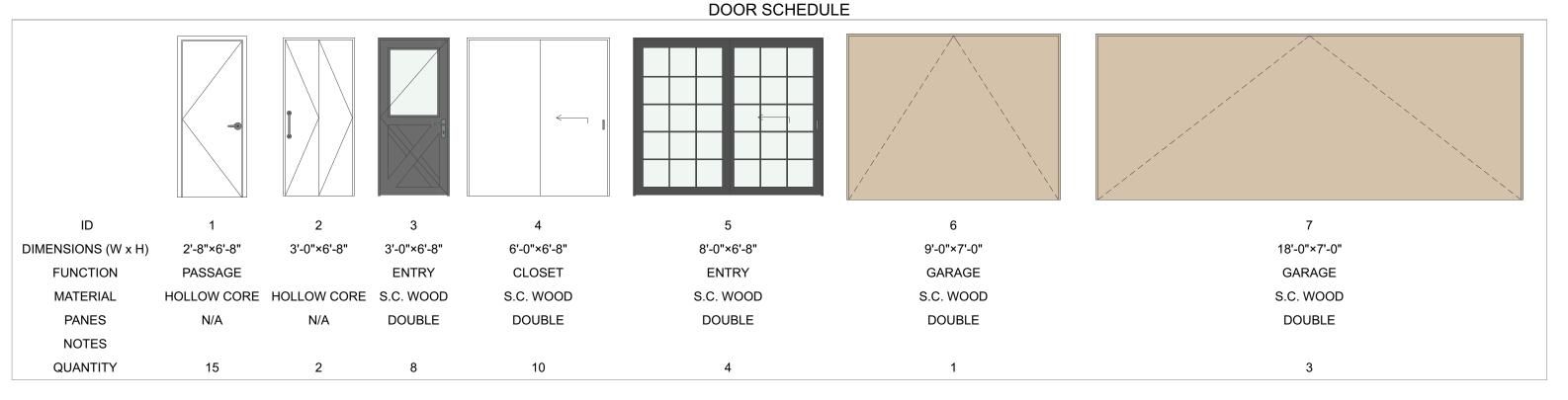
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DATE:	2/1/24
SCALE:	AS SHOWN
DRAWN:	E. VIDAL
CHECKED:	
REVISION:	
REVISION:	

DUPLEX #B 1ST FLOOR PLANS

A3.1





			WINDOW S	CHEDULE		
		-				
DIMENSIONS (W x H)	2'-6"×3'-6"	3'-0"×2'-0"	3'-0"×3'-0"	3'-0"×3'-6"	5'-0"×3'-6"	5'-0"×4'-0"
ID	Α	В	С	D	Е	F
TYPE	SLIDING	SLIDING	SLIDING	SLIDING	SLIDING	SLIDING
COATING	LOW-E	LOW-E	LOW-E	LOW-E	LOW-E	LOW-E
PANES	DOUBLE	DOUBLE	DOUBLE	DOUBLE	DOUBLE	DOUBLE
HEADER HEIGHT	6'-8"	6'-8"	6'-8"	6'-8"	6'-10"	6'-8"
SILL HEIGHT	3'-2"	4'-8"	3'-8"	3'-2"	3'-4"	2'-8"
TEMPERED		\boxtimes				
FIRE-RATING						
SHGC						
U-FACTOR						
QUANTITY	6	4	4	6	18	1



GLASS:

1. TO COMPLY WITH LOS ANGELES SECURITY ORDINANCE. ANY GLASS IN DOORS OR IN SIDELIGHT(S) WITHIN 24" OF EITHER DOOR EDGE PER 2022 CBC, SEC. 2406.4(6) OR WITHIN 40" OF ANY LOCKING MECHANISM (PER LOS ANGELES ORDINANCE) SHALL BE FULLY TEMPERED.

2. THE MANUFACTURED WINDOWS SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONAL FENESTRATION RATING COUNCIL (NFRC) AND SHOWING COMPLIANCE WITH ENERGY CALCULATIONS.

U-FACTOR: .00 SHGC: .00

1226 W. NINTH ST. UPLAND, CA 91786

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HELLO@DREAMDESIGN.BUILD DREAMDESIGN.BUILD

OWNER:

JOSEFINA CAMPOS

ADDRESS:

837 MACLAY AVE. SAN FERNANDO, CA 91340

SCOPE OF WORK:

NEW 4 UNIT DEVELOPMENT

PLANS PREPARED BY:

Edgar Vidal
EDGAR VIDAL

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DATE:	2/1/24
SCALE:	AS SHOWN
DRAWN:	E. VIDAL
CHECKED:	
REVISION:	
REVISION:	

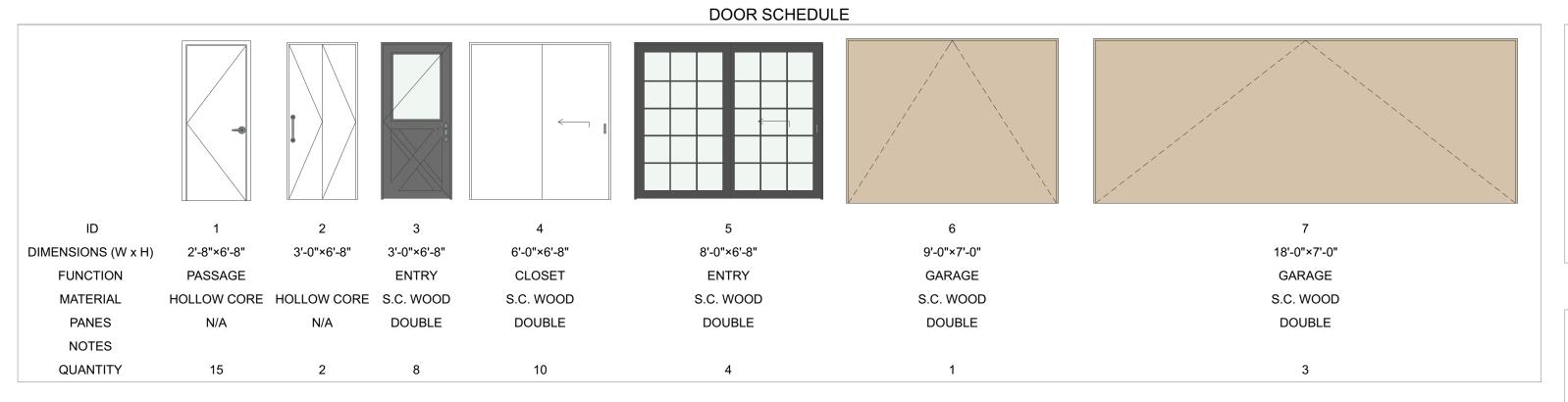
DUPLEX #B 2ND FLOOR PLANS

A3.2



PROPOSED DUPLEX B 2ND FLOOR PLAN

1/4" = 1'-0"



			WINDOW S	CHEDULE		
		-				
DIMENSIONS (W x H)	2'-6"×3'-6"	3'-0"×2'-0"	3'-0"×3'-0"	3'-0"×3'-6"	5'-0"×3'-6"	5'-0"×4'-0"
ID	Α	В	С	D	Е	F
TYPE	SLIDING	SLIDING	SLIDING	SLIDING	SLIDING	SLIDING
COATING	LOW-E	LOW-E	LOW-E	LOW-E	LOW-E	LOW-E
PANES	DOUBLE	DOUBLE	DOUBLE	DOUBLE	DOUBLE	DOUBLE
HEADER HEIGHT	6'-8"	6'-8"	6'-8"	6'-8"	6'-10"	6'-8"
SILL HEIGHT	3'-2"	4'-8"	3'-8"	3'-2"	3'-4"	2'-8"
TEMPERED						
FIRE-RATING						
SHGC						
U-FACTOR						
QUANTITY	6	4	4	6	18	1



GLASS:

1. TO COMPLY WITH LOS ANGELES SECURITY ORDINANCE. ANY GLASS IN
DOORS OR IN SIDELIGHT(S) WITHIN 24" OF EITHER DOOR EDGE PER 2022 CBC,
SEC. 2406.4(6) OR WITHIN 40" OF ANY LOCKING MECHANISM (PER LOS
ANGELES ORDINANCE) SHALL BE FULLY TEMPERED.

2. THE MANUFACTURED WINDOWS SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONAL FENESTRATION RATING COUNCIL (NFRC) AND SHOWING COMPLIANCE WITH ENERGY CALCULATIONS.

U-FACTOR: .00 SHGC: .00

OWNER:

1226 W. NINTH ST.

UPLAND, CA 91786

310.487.1613

HELLO@DREAMDESIGN.BUILD DREAMDESIGN.BUILD

JOSEFINA CAMPOS

ADDRESS:

837 MACLAY AVE. SAN FERNANDO, CA 91340

SCOPE OF WORK:

NEW 4 UNIT DEVELOPMENT

PLANS PREPARED BY:

Edgar Vidal

Edgar Vidal

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SCALE:	AS SHOWN
DRAWN:	E. VIDAL
CHECKED:	
REVISION:	
REVISION:	

DUPLEX #B 3RD FLOOR PLANS

A3.3



PROPOSED DUPLEX B 3RD FLOOR PLAN

1/4" = 1'-0"

NEW ROOF: LANDMARK SOLARIS GOLD - CHARCOAL GRAY 4/12 MAX CRRC# 0668-0079



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OWNER:

JOSEFINA CAMPOS

ADDRESS:

837 MACLAY AVE. SAN FERNANDO, CA 91340

SCOPE OF WORK:

NEW 4 UNIT DEVELOPMENT

PLANS PREPARED BY:

Edgar Vidal

Edgar Vidal

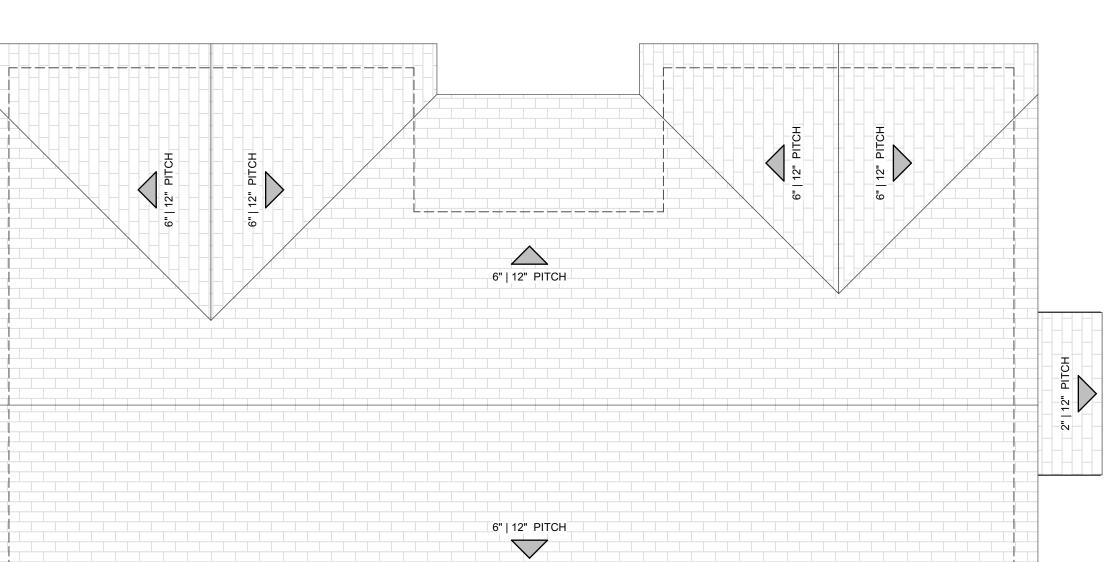
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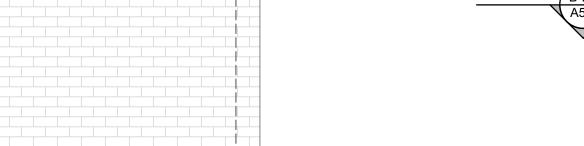
DATE:	2/1/24
SCALE:	AS SHOWN
DRAWN:	E. VIDAL
CHECKED:	
REVISION:	
REVISION:	

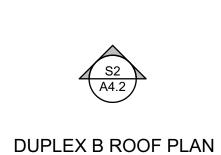
DUPLEX #B ROOF PLAN

A3.4



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...

1/4" = 1'-0"

A-A1 A5.2





KEYNOTES

REVISION:

2/1/24

AS SHOWN

E. VIDAL

DUPLEX #B ELEVATIONS

A4.2

WEST ELEVATION W2 SOUTH ELEVATION S2 1/4" = 1'-0" 1/4" = 1'-0"

10'-0" 2ND FLOOR

9'-0" CEILING HEIGHT

10'-0" 2ND FLOOR

9'-0" CEILING HEIGHT



1226 W. NINTH ST. UPLAND, CA 91786

310.487.1613

HELLO@DREAMDESIGN.BUILD DREAMDESIGN.BUILD

OWNER:

JOSEFINA CAMPOS

ADDRESS:

837 MACLAY AVE. SAN FERNANDO, CA 91340

SCOPE OF WORK:

NEW 4 UNIT DEVELOPMENT

PLANS PREPARED BY:

Edgar Vidal
EDGAR VIDAL

RESTRICTIVE NOTIC

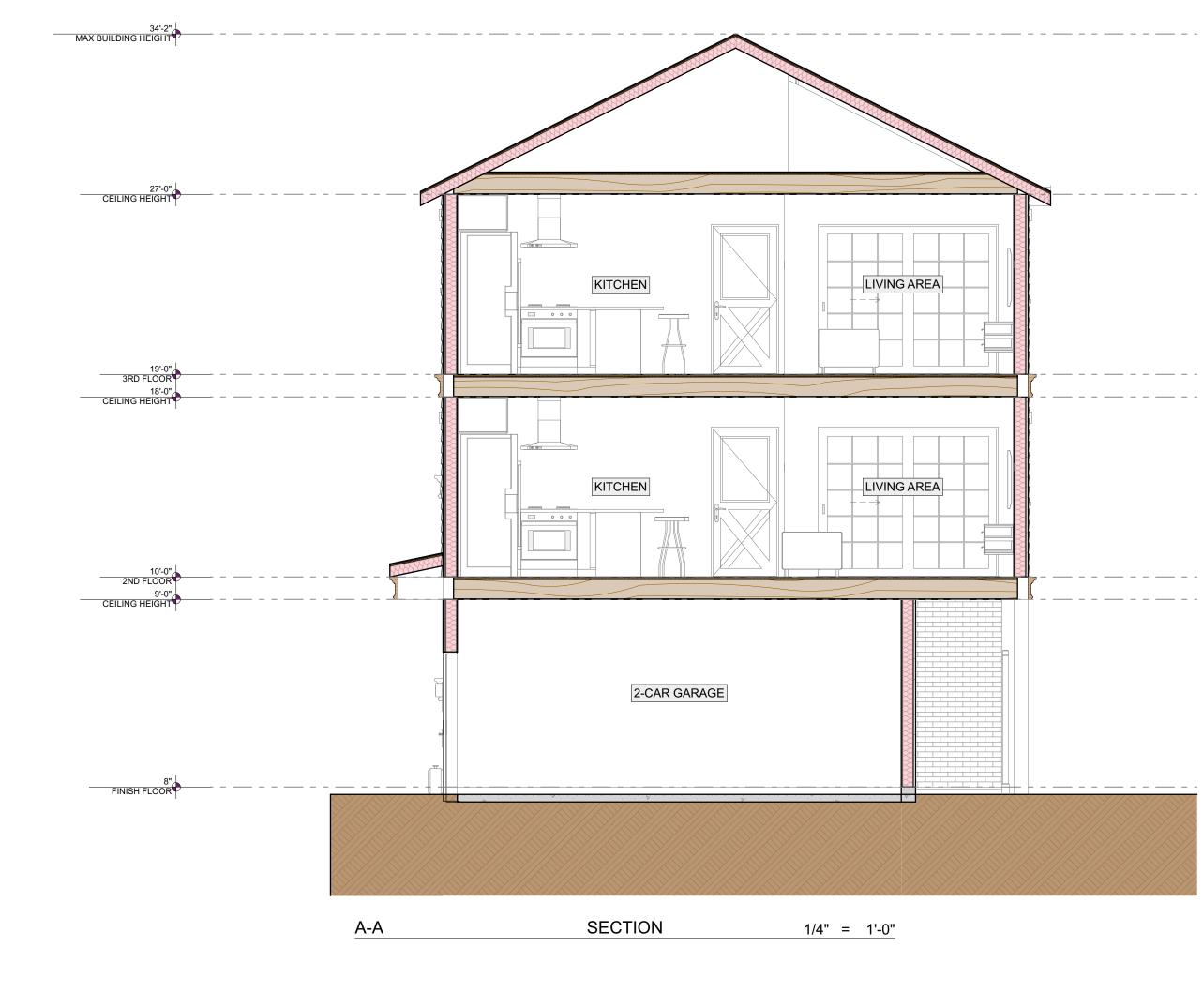
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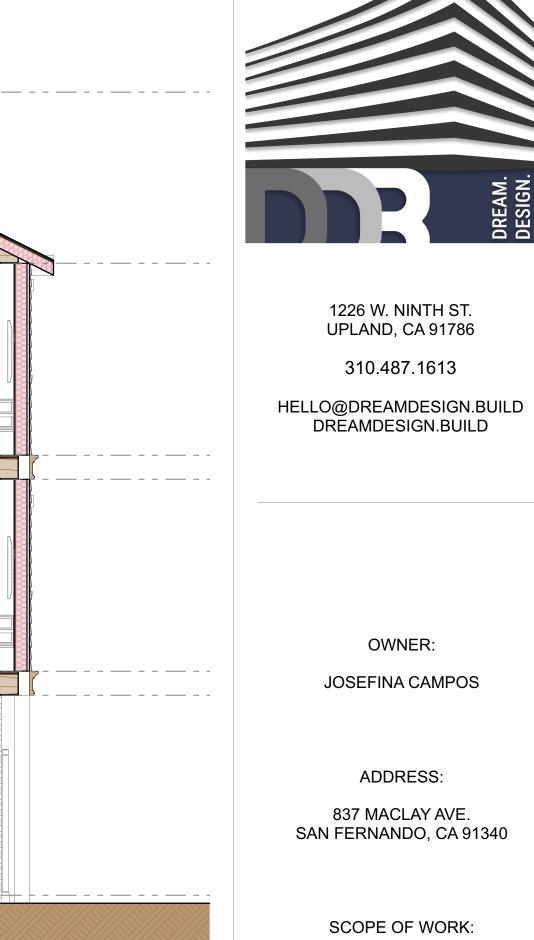
DATE:	2/1/24
SCALE:	AS SHOWN
DRAWN:	E. VIDAL
CHECKED:	
REVISION:	
REVISION:	

SITE ELEVATION

A4.2







PLANS PREPARED BY:

310.487.1613

OWNER:

ADDRESS:

SCOPE OF WORK:

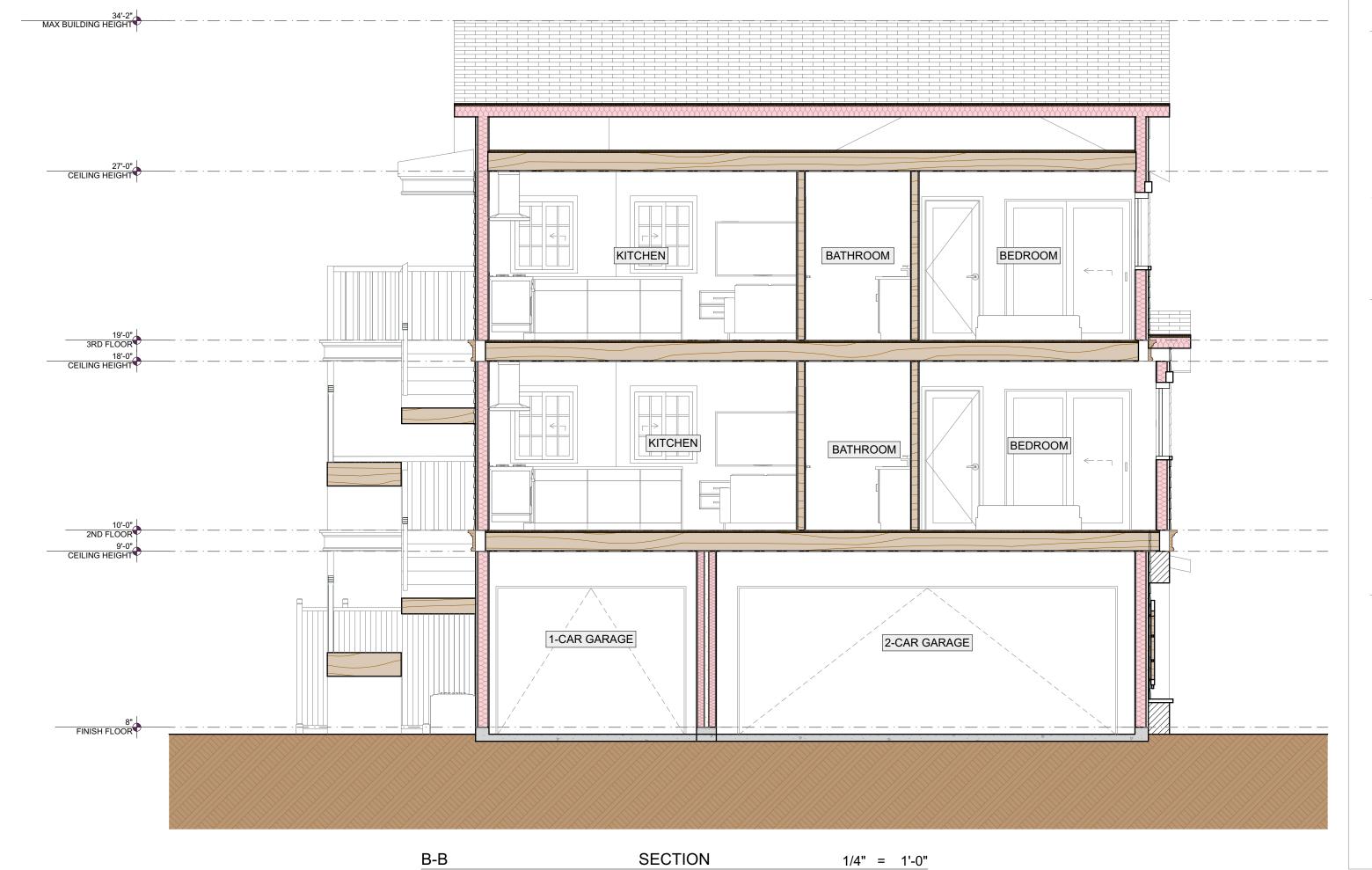
NEW 4 UNIT DEVELOPMENT

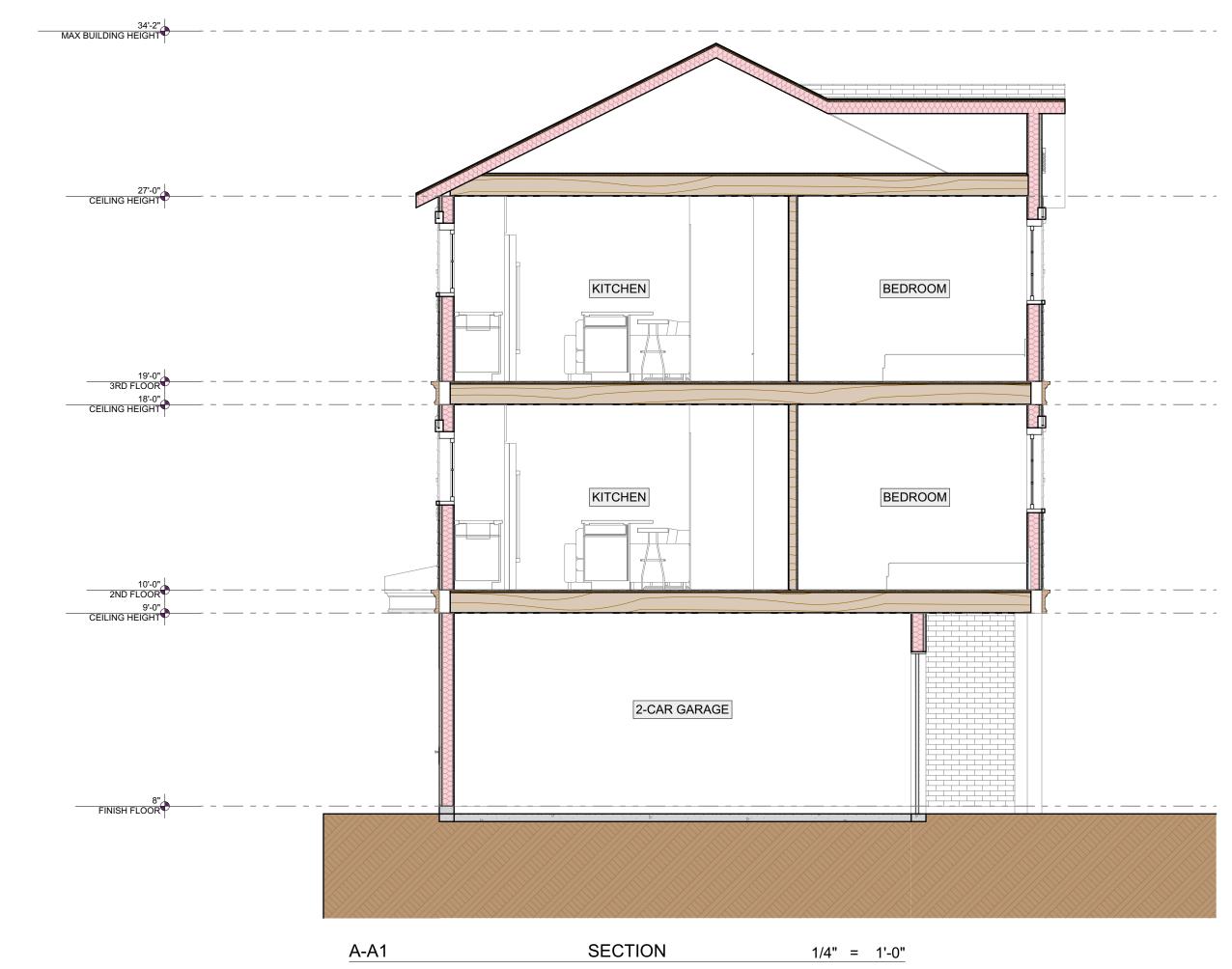
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DATE:	2/1/24
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REVISION:	
REVISION:	

PROPOSED DUPLEX #A SECTION CUTS

A5.1







1226 W. NINTH ST. UPLAND, CA 91786

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HELLO@DREAMDESIGN.BUILD DREAMDESIGN.BUILD

OWNER:

JOSEFINA CAMPOS

ADDRESS:

837 MACLAY AVE. SAN FERNANDO, CA 91340

SCOPE OF WORK:

NEW 4 UNIT DEVELOPMENT

27'-0" CEILING HEIGHT LIVING AREA BEDROOM BATHROOM KITCHEN 19'-0" 3RD FLOOR 18'-0" CEILING HEIGHT LIVING AREA BATHROOM BEDROOM KITCHEN 10'-0" 2ND FLOOR 9'-0" CEILING HEIGHT 2-CAR GARAGE 2-CAR GARAGE FINISH FLOOR

PLANS PREPARED BY:

Edgar Vidal
EDGAR VIDAL

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DATE:	2/1/24
SCALE:	AS SHOWN
DRAWN:	E. VIDAL
CHECKED:	
REVISION:	
REVISION:	

PROPOSED DUPLEX #B SECTION CUTS

A5.2

B-B1

34'-2" MAX BUILDING HEIGHT

SECTION

1/4" = 1'-0"

PLANTING NOTES

- 1. Contractor shall review plans, verify site conditions and plant quantities prior to installation. Contractor shall take sole responsibility for any cost incurred due to damage of existing utilities. Plant material quantities are listed for the convenience of the Contractor. Actual number of symbols shall have priority over quantity designated. Conflicts between the Owner and these plans or within these plans shall be brought to the attention of the Landscape Architect prior to landscape installation. Any deviation(s) from the plans or specifications will require written approval from the Owner and/or Landscape Architect. The Contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
- 2. The Contractor shall maintain a qualified supervisor on the site at all times during construction through completion of pick-up work.
- 3. The Contractor shall receive site graded within 0.10 foot of finish grade. Commencement of work indicates Contractor's acceptance of existing grades and conditions. Final grades shall be adjusted by Contractor as directed by Owner's representative. All grading shall be completed prior to commencement of planting operation.
- 4. The Contractor shall furnish and pay for all container grown trees, shrubs, vines, seeded/sodded turf, hydromulches, and flatted groundcovers. The Contractor shall also be responsible for and pay for planting, staking, and guarantee of all plant materials. See planting details for planting and staking/guying requirements.
- 5. The Landscape Architect and/or Owner shall approve plant material placement by Contractor prior to installation.
- 6. Fertilizer for all planting areas shall be a slow-release, high-nitrogen fertilizer incorporated into the soil during planting.
- 7. For areas to be landscaped and irrigated, the following amendments shall be uniformly broadcast and thoroughly incorporated 6" deep by means of a rototiller or equal. Amount per 1000 square feet
 - 4 cu. yds. nitrogen stabilized organic compost 50 pounds agricultural gypsum
- 8. The planting pits for trees shall be dug twice the diameter of the root ball and two inches shallower than the rootball. Planting pits for shrubs and perennials shall be dug twice the original root ball width, and one—and—a—half times as deep as the rootball. Planting pits for groundcovers shall be dug one—and—a—half times the original root ball size in all directions.
- 9. The Landscape Contractor shall maintain all planted areas shown on the plans, including (but not limited to) watering, pruning, edging, and mowing, for a period of thirty (30) days after completion of project and acceptance by
- 10. The Landscape Contractor shall warranty and replace any plant material that shows signs of lack of vigor or other unhealthful appearance within ninety (90) days of completion of contract. Trees that have been topped or otherwise improperly pruned by the Contractor shall be removed and replaced by the Contractor at no cost to the Owner.

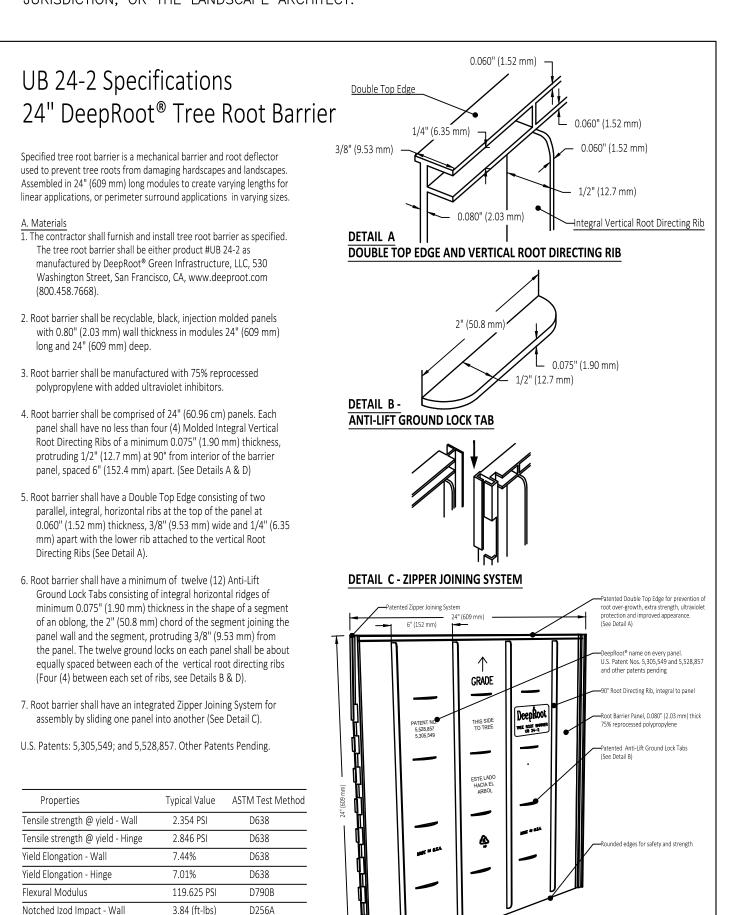
GENERAL NOTES

Rockwell Hardness r. scale - Wall 84.4

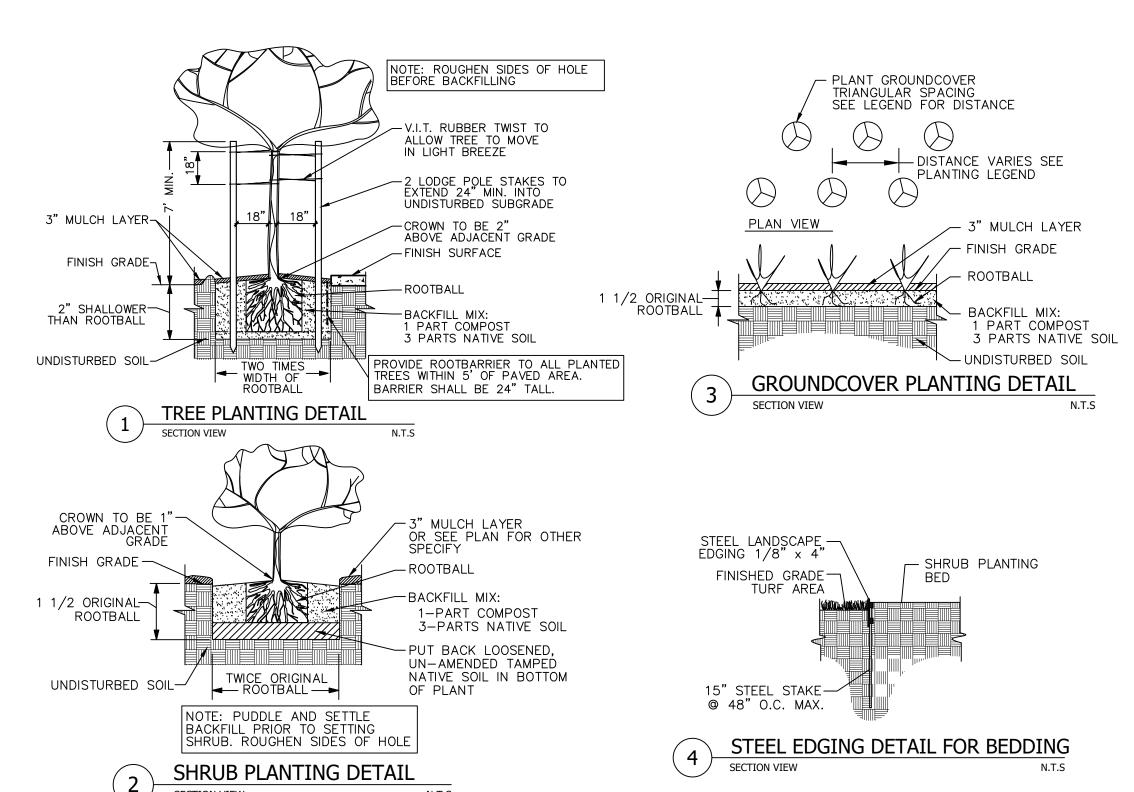
- 1. A minimum 3-inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting ground covers, or direct seeding applications where mulch is contraindicated.
- 2. A Certificate of Completion shall be filled out and certified by either the designer of the landscape plans, irrigation plans, or the licensed landscape architect for the project".
- 3. For soil amendments see 'Planting Notes', #7.

HOLD HARMLESS & INDEMNIFICATION CLAUSE

CONTRACTOR AGREES TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND. INDEMNIFY. AND HOLD THE OWNER/DEVELOPER. THE CSA, COUNTY OF LOCAL JURISDICTION, AND THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER/DEVELOPER, THE CSA, COUNTY OF LOCAL JURISDICTION, OR THE LANDSCAPE ARCHITECT.



DETAIL D - TREE ROOT BARRIER PANEL



NOTE: "I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package." 10-31-2023 Licensed Architect Date

INSTALL ROOT BARRIERS TO ALL PROPOSED TREES PLANTED WITHIN FIVE(5) FEET ALONG ANY HARDSCAPE SURFACE; NOT AROUND THE TREE ROOT BALL. SEE SPECS.

TREES MUST BE AT LEAST 15 GAL. IN SIZE AND 6' TALL AT THE TIME OF PLANTING.

MULCH INSTALLATION After all planting and irrigation operations are complete, cover all exposed landscape areas with 3" layer of SPEC Mulch as made by Recycled Wood Products (877-476-9797), or equal

PLANT LEGEND

TOTAL OPEN SPACE AREA PLANTED:

OPEN SPACE REQUIREMENTS:

TOTAL OPEN SPACE REQUIRED

TOTAL OPEN SPACE PROVIDED:

PER SAN FERNANDOS CORRIDORS SPECIFIC PLAN

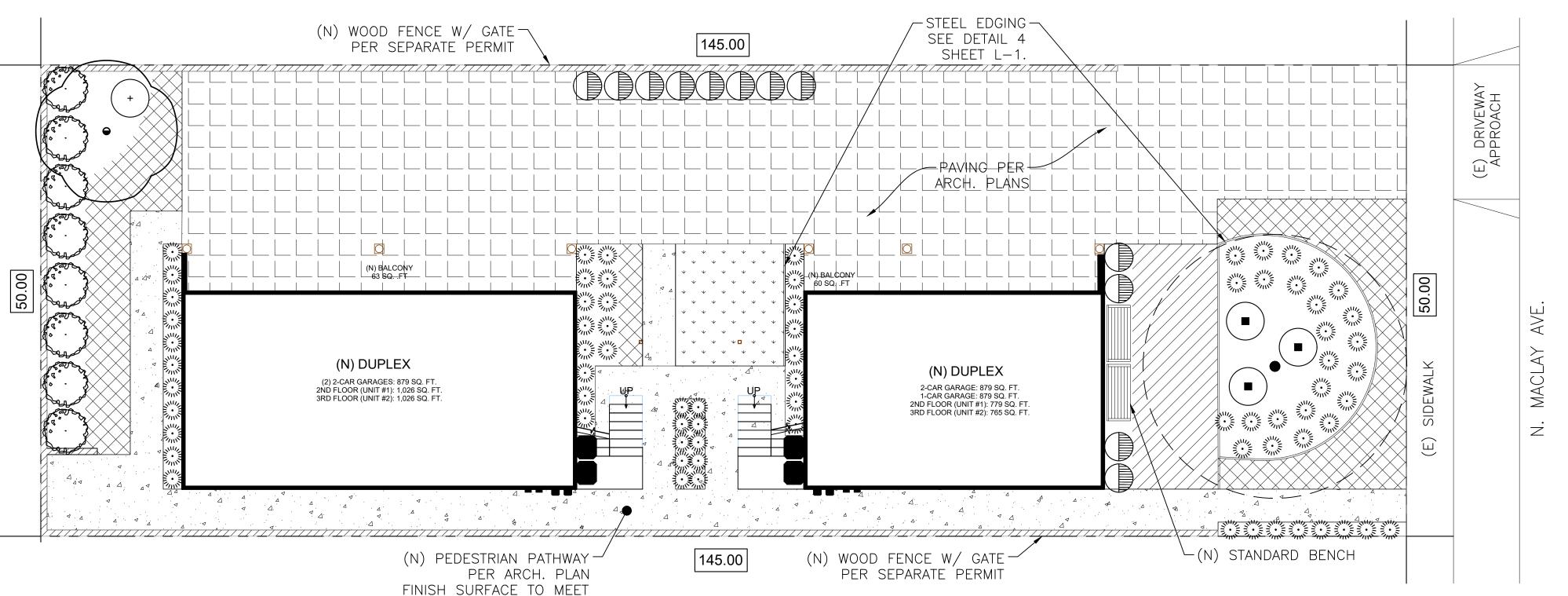
1 - 1 1 4							
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WUCOLS FACTOR	REMARKS	
	TREES						
	Existing tree to remain						
	Lagerstroemia indica 'Tuscarora'	Crape Myrtle	15 gal	1	Moderate	Standard	
	SHRUBS						
	Ligustrum japonicum 'Texanum'	Texas Privet	5 gal	8	Low		
	Callistemon 'Little John'	Dwarf Bottlebrush	5 gal	12	Low		
(+)	Salvia leucantha PERENNIALS	Mexican Bush Sage	5 gal	1	Low		
	 Dianella caerulea	Blue Flax	5 gal	74	Low		
	Dietes bicolor	Fortnight Lily	5 gal	3	Low		
	GROUND COVERS						
	Dymondia margaretae	Silver Carpet	flats	4	Low	plant @ 12	2" o.c.
	Vinca minor 'Variegata'	Vinca minor 'Variegata'	flats	8	Low	plant @ 12	2" o.c.
* * * *	Synthetic turf install per manufac	turer standards.		148 s.f	•		

= 600 S.F.

<u>= 624 S.F.</u>

= 546 S.F. (88%)

*All exposed landscape areas to be covered with 3" layer of 'Spec Mulch'. See mulch installation note.



SPECIFIC PLAN STANDARDS



1706 W. Arrow Route #106, Upland, CA 91786 info@hofplanning.com www.hofplanning.com Phone: 951.961.4003 SEAL - DESIGN ENGINEER

ANDSCAPE OF CALIFOR

Description

SIDENTIA R MUL 837 N SAN

DATE:

SCALE:

SHEET TITLE:

10-31-2023 DRAWN: S.K. REVIEWED: J.M. 2324 PROJECT NO: 1/8" = 1'-0"

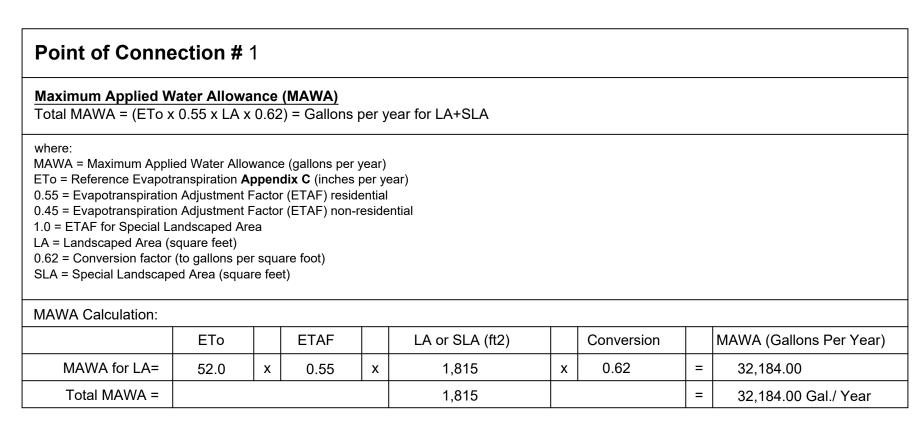
PLANTING PLAN

SHEET NO:

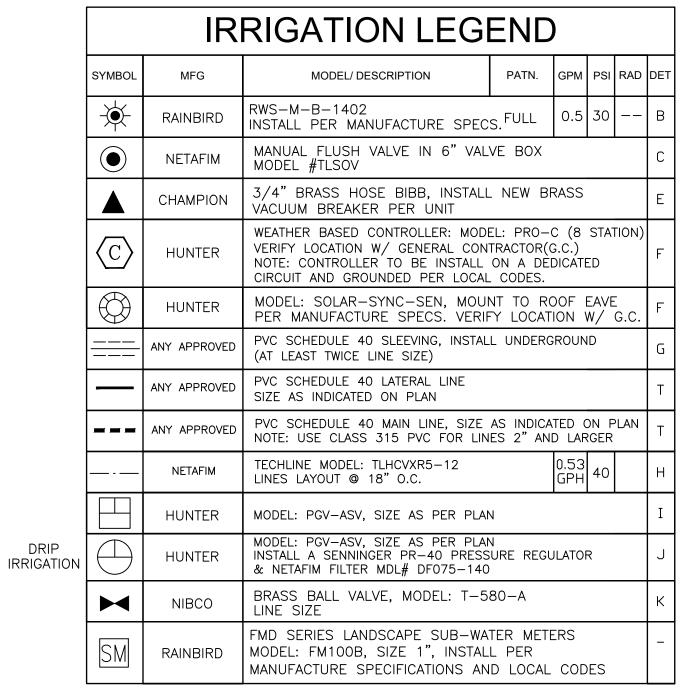
SHEET: 1 OF: 3

GENERAL IRRIGATION NOTES

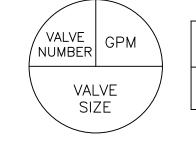
- 1. It is the responsibility of the irrigation Contractor to familiarize himself with all grade differences, location of wall, retaining walls, structures and utilities. The Contractor shall repair or replace, at no additional cost to the owner, all items damaged by his work. The Contractor shall coordinate his work with other contractors for the location and installation of pipe sleeves and laterals through walls, under roadways and paving, etc.
- 2. The Contractor shall not willfully install the irrigation system as shown on the drawings when it is obvious in the field that unknown obstructions, grade differences, or differences in the area dimension exist that might not have been addressed in the design of the irrigation system. Such obstructions or differences shall be brought to the attention of the Owner's authorized representative. In the event this notification is not performed, the Contractor shall assume full responsibility for any necessary alterations to the work.
- 3. The Contractor shall obtain, coordinate, and pay for any and all inspections as required.
- 4. The Contractor shall be responsible and liable for any encroachment into adjacent property, R.O.W.'s easements setbacks or any other legal property restrictions either marked or unmarked.
- 5. The irrigation system design is based on a minimum operation pressure of 40 PSI and a maximum flow demand of 10.0 GPM. The Contractor shall verify water pressure prior to construction. Report any difference between the water pressure indicated on the drawings and the actual pressure reading at the irrigation point of connection to the Landscape
- 6. This design is diagrammatic. All piping, valves, etc., shown within paved areas is for design clarification only and shall be installed in planting areas wherever possible. The Contractor shall locate all valves in shrub or groundcover areas
- 7. Trenching within the dripline of large existing trees shall be performed by hand, and with extreme care not to sever roots 1-1/2" in diameter and larger are encountered, the Contractor shall tunnel under said roots. Exposed roots that have been tunneled under shall be wrapped in wet burlap and kept moist while the trench is open.
- 8. All Main line piping, lateral line piping, and control wires under all paving shall be installed in Schedule 40 PVC sleeves at a minimum depth of 18". Sleeves shall be installed before paving is in place. All sleeve sized shall be a minimum of twice the diameter of the pipe to be sleeved. Control wire sleeves shall be of sufficient size for the required number of wires under paving
- 9. Pipe sizes shall conform to those shown on the drawings. No substitutions of smaller pipe sizes shall be permitted, but substitutions of larger sizes may be approved. All damaged and rejected pipe shall be removed from the site at the time
- 10. The Contractor shall flush and adjust all drip tubing, and valves for optimum coverage with minimal misting and/or over spray onto walks, streets, walls, etc. Substitution of nozzle pattern or radius as required to achieve optimum coverage is responsibility of contractor.
- 11. All irrigation equipment not otherwise detailed or specified shall be installed as per manufacturer's recommendations and specifications.
- 12. Drip tubing shall be installed in parallel rows (wherever possible) 18" apart on top the finish grade (unless stated otherwise on plan OR irrigation legend) and covered with 3" of specify groundcover material— see planting plan. Emitter spacing of adjacent rows staggered. Tubing shall be firmly staked in place with U—staples at 5' on center (24" on center around tight curves). In steeply sloped areas, install tubing rows perpendicular to the direction of the slope. Install flush valves at the circuit's major low points (verify in field). Install flush valves in 6" valve boxes. Drip irrigation tubing shall be connected to Schedule 40 PVC supply line and exhaust manifolds where indicated on the plans.
- 13. 120 VAC electrical power source at controller location shall be provided by Electrician or General Contractor. The Contractor shall make the final connection from the electrical source to the controller.
- 14. Pressure test Mainline at 150 PSI per three(3) hours constant.



	Estimated Applied Water Use EAWU = ETo x K _L x LA x 0.62 ÷ IE = Gallons per year												
r	where: EAWU = Estimated Applied Water Us ETo = Reference Evapotranspiration KL = Landscape Coefficient LA = Landscaped Area (square feet) 0.62 = Conversion factor (to gallons p IE = Irrigation Efficiency	r)											
	EAWU Calculation												
		ETo		KL		LA		Conversion		IE		EAWU (Gallons per year)	
VALVE 1,2,3 →	(Drip) Low Water Using Shrub	52.0	х	0.2	х	1,801	х	0.62	÷	0.81	=	14,337.00	
VALVE 4→	(Bubbler) Moderate Water Using Trees	52.0	х	0.5	х	14	х	0.62	÷	0.81	=	279.00	
	Total EAWU =					1,815						14,616.00 Gal./ Year	

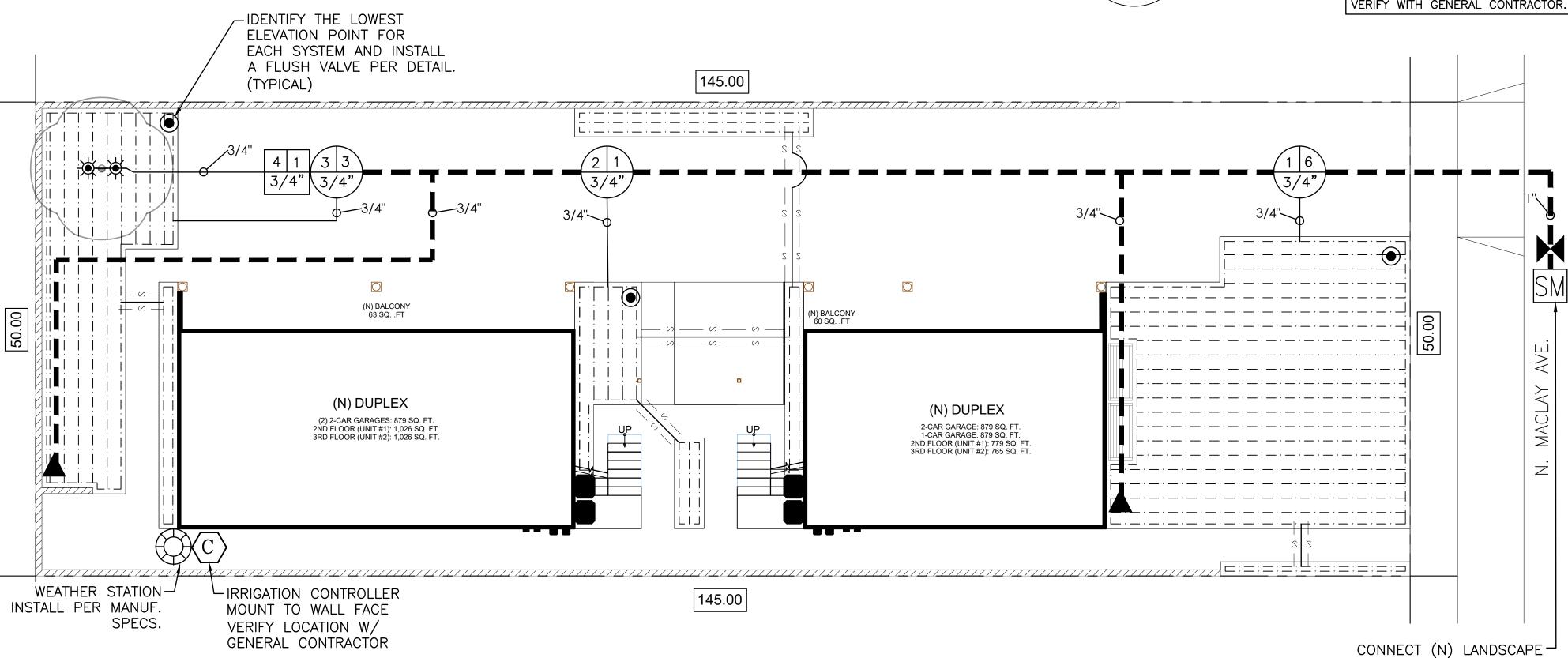


VALVE SYMBOLS



VALVE NUMBER GPM VALVE SIZE

NOTE:
THIS DESIGN IS DIAGRAMMATIC
FOR CLARIFICATION. THE LOCATION
OF MAINLINES, LATERALS, VALVES,
AND OTHER IRRIGATION COMPONENTS
SHALL BE LOCATED INSIDE PLANTER
AREAS AS MUCH AS POSSIBLE.
VERIFY WITH GENERAL CONTRACTOR.



IRRIGATION SUBMETER TO (E)
WATER METER. VERIFY
P.O.C. IN FIELD

NORTH

PURPOSEFUL PLANNING

1706 W. Arrow Route #106, Upland, CA 91786
Phone: 951.961.4003 info@hofplanning.com
www.hofplanning.com

SEAL - DESIGN ENGINEER

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SIGNAPURE

12-31-2023

RENEWAL DATE

10-31-2023

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> TI-FAMILY RESIDENTIAL N. MACLAY AVE. FERNANDO, CA 91340

MULT 837 N SAN

DATE: 10-31-2023

DRAWN: S.K.

REVIEWED: J.M.

PROJECT NO: 2324

SCALE: 1/8" = 1'-0"

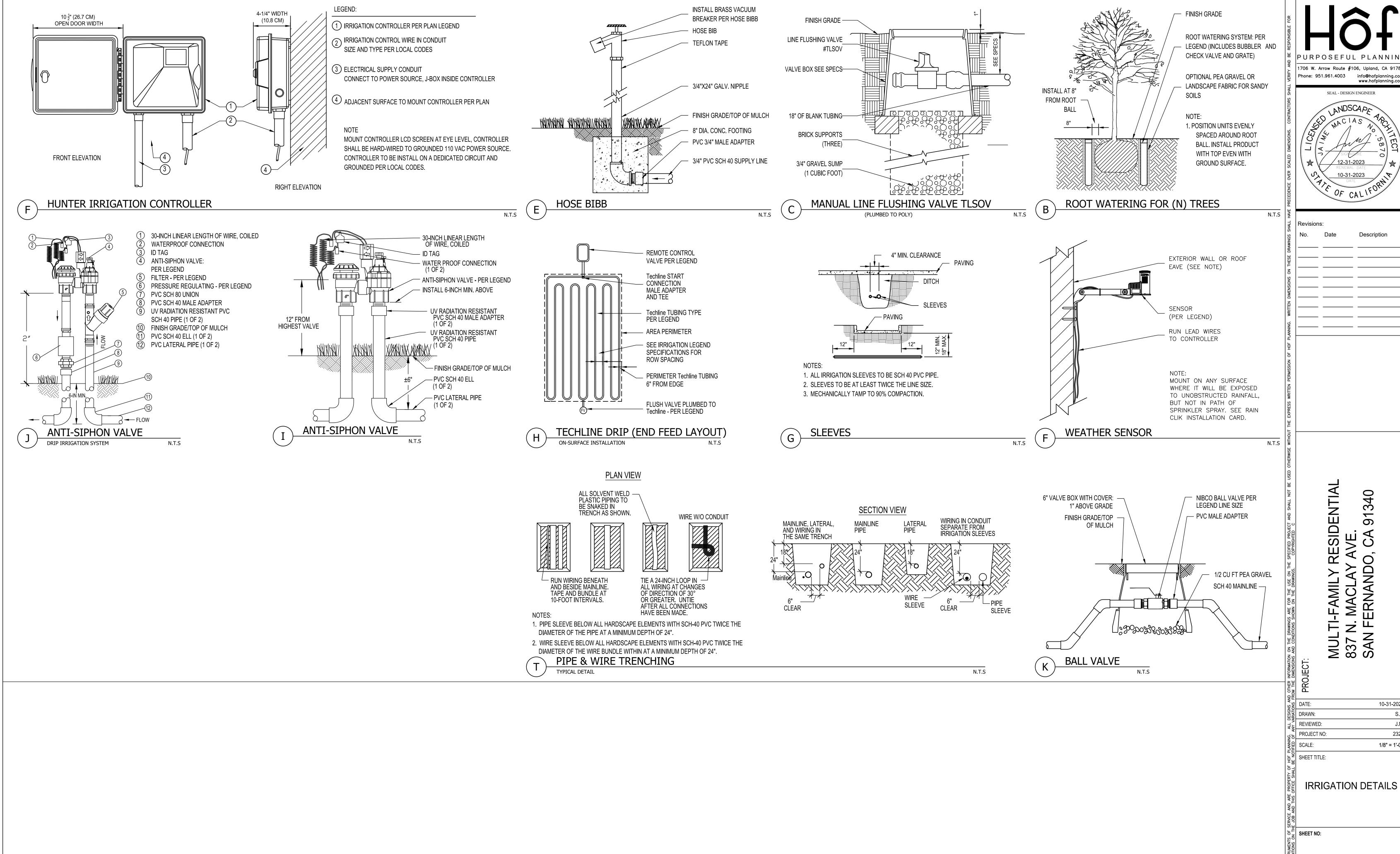
SHEET TITLE:

IRRIGATION PLAN

SHEET NO:

L-2

SHEET: 2 OF: 3



1706 W. Arrow Route #106, Upland, CA 91786 info@hofplanning.com www.hofplanning.com

Description

10-31-2023 S.K. J.M. 2324 1/8" = 1'-0"

SHEET: 3 OF: 3

NOTICE OF A PUBLIC HEARING

BY THE CITY OF SAN FERNANDO PLANNING AND PRESERVATION COMMISSION

A public hearing on this matter and associated environmental document pursuant to California Environmental Quality Act (CEQA) will be conducted by the City of San Fernando Planning and Preservation Commission on:

DATE: February 12, 2023

TIME: 6:30 p.m.

HEARING LOCATION: City Hall Council Chambers, 117 Macneil Street, San Fernando, CA 91340

PROJECT LOCATION: 837 N

Maclay Avenue

APPLICATIONS: Site Plan Review (SPR2023-023) and Conditional Use Permit (CUP2023-003)

PROJECT DESCRIPTION:

The Planning and Preservation Commission will consider Site Plan Review (SPR2023-023) and a Conditional Use Permit (CUP2023-003) to allow demolition of an existing 853 sq. ft. single-family residence and construct a new 4-unit residential development at 837 N Maclay Avenue within the Maclay District of the San Fernando Corridors Specific Plan Zone (SP-5).

Pursuant to the California Environmental Quality Act (CEQA), the approval of the proposed project is exempt under CEQA Guidelines Class 3 ("Small Structures") pertaining construction and location of limited numbers of new, small facilities or structures, including a duplex or similar multi-family use with up to 4 units. The project site is in an urbanized area with environmentally sensitive habitats or species of concern on the property, there has been no successive effort to intensify land uses in the area, and no unusual circumstances exist that would pose a reasonable possibility of having a significant effect on the environment, and the project does not involve or affect historic resources. Based on this analysis, no significant environmental effects would result from this project and the use of a categorical exemption is appropriate.

The City of San Fernando strongly encourages your participation. Interested members of the public may provide verbal comments or

written comments regarding any aspect of the proposed Site Plan Review and Conditional Use Permit during the public hearing on this matter. Additionally, public comments may be submitted via email to CommunityDevelopment@sfcity.or g or mailed to Community Development, 117 Macneil Street, San Fernando, CA 91340, by 5:00 PM on the date of the meeting. If you have any questions, please contact Marina Khrustaleva, Associate Planner, at mkhrustaleva@sfcity.org or call 818-898-1378.

Erika Ramirez

Community Development Director

Community Development
Department 117 N Macneil Street
San Fernando, CA 91340 (818)
898-1227 www.sfcity.org

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AGENDA REPORT

To: Planning and Preservation Commission Chair Bernal and Commissioners

From: Erika Ramirez, Director of Community Development

Date: February 12, 2024

Subject: Discussion on amending the San Fernando Municipal Code to establish operating

standards for establishments that sell alcohol for on-site consumption and define live entertainment, brewery/distillery, tap room, tasting room, and wine bar.

RECOMMENDATION:

Staff recommends that the Planning and Preservation Commission:

- 1. Discuss establishing operating standards for establishments that serve alcohol for on-site consumption; and
- 2. Discuss adding a definition of live entertainment, brewery/distillery, tap room, tasting room, and wine bar.

BACKGROUND

- On November 7, 2017, the Planning Commission conducted a duly noticed Public Hearing and following the Public Hearing, after consideration of the entire public record and extensive deliberation, adopted Resolution No. 2017-008 recommending that the City Council certify the Environmental Impact Report SCH No. 2015121088, for the adoption of the San Fernando Corridors Specific Plan (SP-5), and related amendments to the General Plan text and map, and Zoning Ordinance.
- 2. On November 20, 2017 the City Council opened the Public Hearing and continued it to December 4, 2017.
- 3. On December 4, 2017, the City Council conducted a Public Hearing and adopted Resolution No. 7826, certifying the Final Environmental Impact Report SCH No. 2015121088, pursuant to the California Environmental Quality Act, and adopting the amendments to the City's General Plan and Land Use Map related to and subject to the subsequent adoption of the proposed San Fernando Corridors Specific Plan SP-5 and related amendments to the Zoning Ordinance text and map. As part of the same public hearing of December 4, 2017, the City Council also introduced for first reading Ordinance No. 1671 approving the San Fernando

Corridors Specific Plan, SP-5 and related amendments to the City's Zoning Ordinance Text and Map.

- 4. On December 17, 2017, the City Council adopted by title only and waive full reading, Ordinance No. 1671 "An Ordinance of City Council of the City of San Fernando, California, Approving the San Fernando Corridors Specific Plan (SP-5) and repealing in its entirety the former Corridors Specific Plan (SP-4) and amending the Zoning Ordinance Text and Zoning Map.
- 5. On January 17, 2018, Ordinance No. 1671 took effect.

ANALYSIS:

The San Fernando Corridors Specific Plan (SP-5) replaced the 2005 adopted SP-4 in its entirety. SP-5 established planning principles, land use policies, development standards, and design guidelines for public improvements and private development within the specific plan area. SP-5 is intended to be a "living" document that is meant to be updated pursuant to changing circumstances.

Some of the more notable changes from the SP-4 Plan were aimed at expanding and streamlining commercial uses to promote economic development. Among those updated were changing the following two commercial uses from conditionally permitted to permitted by right.

- Bona fide eating establishments with ancillary alcoholic beverages for on-site consumption (up to Type 47 liquor license); and
- Craft brewery/distillery, tap room, tasting room, and wine bar (in the downtown district only).

These modifications is permitting requirements are geared towards attracting businesses of these types in the specific plan area, contributing to the creation of a lively entertainment area. However, the absence of established operating standards poses challenges, limiting the City's ability to uniformly and objectively apply the municipal code to businesses sharing similar ancillary uses, such as the sale of alcohol for on-site consumption.

Furthermore, adding new uses without defining them introduces subjectivity in reviewing proposed businesses. Establishing a clear and concise Municipal Code, with associated standards, would improve the City's efforts in attracting businesses. This approach improves transparency by informing businesses up front of requirements and standards for design and operation, promotes streamlined application processing by eliminating the need for staff to interpret the code or make determinations based on information outside of the code. Ultimately reducing subjectivity to the review and processing of applications. Furthermore, creating operating standards would ensure the City is adequately addressing known impacts and fostering a more responsive regulatory environment.

Proposed Operation Standards

Staff is in the process of reviewing the conditions of approval of existing Conditional Use Permits that allow the sale of alcohol for on-site consumption and is identifying conditions that are commonly listed as a baseline for operation. In light of this analysis, a set of operating standards are proposed to be universally applied to all establishments engaged in the on-site sale and consumption of alcoholic beverages. The following list of standards are those identified to be recommended thus far:

- 1. The applicant shall be required to submit to the Planning Division the following:
 - A. A floor plan shall be reviewed and approved to identify the areas in which all on-site sale and consumption of alcoholic beverages shall occur. This shall be limited to the confines of the building and approved outdoor patio or dining area.
 - B. Copy of ABC license upon issuance of said license prior to the selling of alcohol.
 - C. Copy of each license suspension or citation issued by ABC upon such issuance.
 - D. A ride share program shall be established to offer patrons a ride home if needed and provide evidence of such program.
 - E. A security plan including but not limited to the following shall be submitted for review and approval prior to the opening of the business:
 - a. A written description of the security operations, list of key personnel contact information and emergency contact information.
 - b. A plan identifying the location of security lighting and camera.
 - c. The doors to the establishment shall remain closed except upon entering and existing the business.
 - d. Security personnel can be required for establishments with occupancy load of over 100 people or for special events.
- The City reserves the right to request of the California Department of Alcoholic Beverage Control (ABC) additional conditions, such as hours of operation restrictions, restriction of the type of alcohol sold, or other conditions that the City may deem necessary in order to reduce potential impacts.
- 3. The operating business shall comply with all applicable SFMC Noise regulations.
- 4. The operator shall be responsible for requiring that there be no loitering on the site, on the public right-of-way and or/ in front of adjacent properties at any time and that all customers shall leave the site no later than 30 minutes after closing, after which, only employees shall be allowed on the premises.
- 5. Litter and trash receptacles shall be located at convenient locations, both inside and outside establishment, and trash and debris shall be removed on a daily basis.
- 6. The property shall be maintained in a clean and neat manner at all times and shall comply with property maintenance standards as set forth in the San Fernando Municipal Code.

- 7. Exterior public telephones shall not be located on the premises.
- 8. Graffiti shall be removed within 48 hours of its application.
- 9. Establishments shall comply with Sect. 106-222 and require all employees to have the following specified anatomical areas completely and opaquely covered:
 - 1. Human genitals;
 - 2. Buttock; and
 - 3. Female breast below a point immediately above the top of the areola.
- 10. Bona fide eating establishments shall only sell alcoholic beverages during hours that meals are being service.
- 11. Special events are permitted with the approval of a Special Event Permit.
- 12. Live entertainment as an accessory use requires the approval of a Conditional Use Permit in compliance with SFMC Sections 106-14 to 106-148 (Conditional Use Permits Subdivision I).

Proposed Definitions

An additional amendment is to define uses that were added in SP-5. Staff is proposing to add the following definitions to the municipal code, which will allow for clear and objective classification of potential proposed uses. These definitions are as follows:

- brewery/distillery
- live entertainment
- tap room
- tasting room
- wine bar

Staff is seeking input and discussion on the proposed amendments. The intent is to develop a comprehensive, long term solution by reviewing these amendments and exploring additional updates to SP-5 through the Downtown Master Plan efforts. However to address immediate needs, staff plans to present these amendments to City Council as an Urgency Ordinance, serving as an interim solution. This approach ensures that staff can objectively evaluates projects while concurrently offering potential business owners and developers clear guidance on City requirements and process. By seeking input and promptly addressing amendments through an Urgency Ordinance, the City aims to foster clarity and efficiency in the regulatory framework, benefiting both stakeholders and the community at large.

ENVIRONMENTAL REVIEW:

This discussion is exempt from the California Environmental Quality Act (CEQA) as it can be seen with certainty that discussion of amending the San Fernando Municipal Code related to

establishing operating standards, processes, and definitions will not have any possible significant effect on the environment, and thus not subject to CEQA.

CONCLUSION:

Planning and Preservation Commission shall discuss the following:

- 1) Discuss establishing operating standards for establishments that serve alcohol for on-site consumption; and
- 2) Discuss adding a definition of live entertainment, brewery/distillery, tap room, tasting room, and wine bar.

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